

**ENGINEERING**

**ADDENDUM NUMBER:** FOUR (4)

**DATE:** February 20, 2026

**PROJECT:** LONE OAK COMMUNITY CENTER

**DESIGNER:** BRETT HARBISON, ARCHITECT  
MONTGOMERY COUNTY ENGINEERING

**BID OPENING:** February 25, 2026 at 2:00 P.M.

**TO PLANHOLDERS:** This addendum is issued to modify the original Project Manual and Project Drawings, dated January 30, 2026 and is hereby made part of the contract documents. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

Review changes to each portion of the work, as changes of one portion may affect the work of another.

**PROJECT MANUAL:**

1. Specification Section 01 21 00 ALLOWANCES  
Has been added to the Section 1 Specifications.

**Item 01: Architectural Sheets**

1. Sheet G0.0 Cover Sheet – delete sheet dated 02/13/2026 and replace with sheet dated 02/20/2026
  - a. Issued new Sheet A1.2A
  - b. Issued new Sheet A5.1
  - c. Issued new Sheet A5.1A
  - d. Issued new Sheet A5.2
2. Sheet D1.1 Demolition Floor Plan – delete sheet dated 02/13/2026 and replace with sheet dated 02/20/2026
  - a. Relocated detail photos
  - b. Added Key Notes 16 and 17
  - c. Added information to the LEGEND for Selective Demolition
  - d. Added Lower Level Library to BASE BID showing where new door opening will need to be created.

**LONE OAK COMMUNITY CENTER**  
**ADDENDUM #3**  
**FEBRUARY 18, 2026**  
**PAGE 2**

3. Sheet D1.1A Add Alternate #2: Lower Level Demolition Plan delete sheet dated 02/13/2026 and replace with sheet dated 02/20/2026
  - a. Revised Key Note 05
  - b. Revised Key Note 06
  - c. Revised General Notes – added two (2) new notes
  - d. Enlarged dimensions to be seen
  - e. Added in wall in Data Room and door into Library to show as existing
  
4. Sheet D1.2A Add Alternate #2: Lower Level Reflected Ceiling Demolition Plan delete sheet dated 02/13/2026 and replace with sheet dated 02/20/2026
  - a. Revised Key Note 04 to say REPAIR instead of RECONSTRUCTION.
  - b. Revised General Notes by adding in note about not removing ceiling in Data Room #118
  - c. Show Data Room 118 as existing
  - d. Added all existing ACT and ceiling grid in the lower level to be removed
  
5. Sheet A1.1 New Construction Plan delete sheet dated 02/13/2026 and replace with sheet dated 02/20/2026
  - a. Added Key Notes 11, 12, 13
  - b. Added lower level Library Plan
  - c. Show creating new Data Room 118 to the Base Bid
  - d. Added in Electrical Notes for new Data Room
  - e. Show where new 5" x 8" electrical chase is being created in Closet 201A
  
6. Sheet A1.1A Add Alternate #2: Lower Level New Construction Plan delete sheet dated 02/13/2026 and replace with sheet dated 02/20/2026
  - a. Show Data Room 118 as existing
  
7. Sheet A1.2 Reflected Ceiling New Construction Plan delete sheet dated 02/13/2026 and replace with sheet dated 02/20/2026
  - a. Added new General Notes
  - b. Added new Project Notes 14, 15, 16
  - c. Show new ceiling plan in Lower Level Data Room 118
  
8. Sheet A1.2A Add Alternate #2: Lower Level Reflected Ceiling New Construction Plan delete sheet dated 02/13/2026 and replace with REISSUED sheet dated 02/20/2026
  
9. Sheet A5.1 Finish Plan delete sheet dated 02/13/2026 and replace with new REISSUED Sheet A5.1 Finish Floor and Signage Plan dated 02/20/2026

10. Sheet A5.1A Add Alternate #2: Lower Level Finish Floor Plan delete sheet dated 02/13/2026 and replace with REISSUED Sheet A5.1A Add Alternate #2: Lower Level Finish and Signage Plan dated 02/20/2026
11. Sheet A5.2 Reflected Ceiling Molding and Trim Plan
  - a. New Sheet dated 02/20/2026

**Item 02: Mechanical Sheets**

1. Sheet M0.1 HVAC Schedules and Notes delete sheet dated 02/13/2026 and replace with sheet dated 02/20/2026
  - a. Added Exhaust Fan Schedule
2. Sheet M1.1 HVAC Plan delete sheet dated 02/13/2026 and replace with sheet dated 02/20/2026
  - a. Add drawing and notes for lower level Data Room 118

**Item 03: Technology Sheets**

1. Sheet T0.1 Camera Technology delete sheet dated 02/13/2026 and replace with sheet dated 02/20/2026
  - a. Removed note on title block 'For Reference Only'
  - b. Added notes calling out installing conduit in new electrical chase

**END OF ADDENDUM NUMBER FOUR (4)**

## SECTION 01 21 00 - ALLOWANCES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. This Section includes administrative and procedural requirements governing allowances.
  - 1. Certain materials and equipment are specified in the Contract Documents by allowances. In some cases, these allowances include installation. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when additional information is available for evaluation. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include the following:
  - 1. Lump-sum allowances.
  - 2. Contingency allowances.
  - 3. Testing and inspecting allowances.
  - 4. Unit Cost Allowances
- C. Related Sections include the following:
  - 1. Division 1 Section "Contract Modification Procedures" for procedures for submitting and handling Change Orders.
  - 2. Division 1 Section "Unit Prices" for procedures for using unit prices.
  - 3. Division 1 Section "Quality Requirements" for procedures governing the use of allowances for testing and inspecting.

#### 1.2 SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.
- B. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.

#### 1.3 LUMP SUM AND QUANTITY OF WORK (UNIT COST) ALLOWANCES

- A. All allowance amounts shall be included in the Base Bid Contract Sum.
- B. Allowance shall include cost to the Contractor of specific products and materials ordered by the Owner or selected by the Design Professional under allowance and shall include taxes, freight, and delivery to the project site.
- C. The Contractor's costs for receiving and handling at the Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by the Owner or selected by the Design Professional under allowance shall be included as part of the Contract Sum and not part of the allowance.
- D. At Project Closeout, credit unused amounts remaining in the allowances to Owner by Change Order.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALLOWANCES

- A. Allowance No. One: Include a Lump Sum Allowance of Five-Hundred Dollars (\$500.00) for the purchase and installation of a ceiling mounted, LED light fixture in the Entry Foyer. This fixture will be selected by the Owner and shall be coordinated with the contractor.

END OF SECTION 01 21 00

# MCCO

## MONTGOMERY COUNTY TENNESSEE



### LONE OAK COMMUNITY CENTER

4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE 37052

COUNTY MAYOR: WES GOLDEN  
MONTGOMERY COUNTY PARKS & RECREATION DIRECTOR: SALLY READ  
CHIEF COUNTY ENGINEER: NICHOLAS POWELL, P.E.

#### COUNTY COMMISSIONERS

JOHN GANNON  
JASON KNIGHT  
JOE SMITH  
RICKEY RAY  
RASHIDAH LEVERETT  
MICHAEL LINKFORD  
NATHAN BURKHOLDER

TANGI SMITH  
JORGE PADRO  
JEREMIAH WALKER  
JOE CREEK  
CARMELLE CHANDLER  
WALKER WOODRUFF  
JOSHUA BEAL

DAVID HARPER  
LISA PRICHARD  
CHRIS RASNIC  
RYAN GALLANT  
BILLY FRYE  
AUTUMN SIMMONS  
DAVID SHELTON

#### Index

- G0.0 COVER SHEET
- G0.1 PROJECT INFORMATION
- G0.1A ADD ALTERNATE #2: PROJECT INFORMATION
- G0.2 LIFE SAFETY PLAN
- G0.2A ADD ALTERNATE #2: LIFE SAFETY PLAN
- G0.3 ACCESSIBILITY STANDARDS
- G0.3A ADD ALTERNATE #2: ACCESSIBILITY STANDARDS
- G1.1 OUTLINE SPECIFICATIONS
- G1.1A ADD ALTERNATE #1: OUTLINE SPECIFICATIONS
- G1.1B ADD ALTERNATE #2: OUTLINE SPECIFICATIONS
- G1.2 OUTLINE SPECIFICATIONS
- G1.2A ADD ALTERNATE #2: OUTLINE SPECIFICATIONS
- C1.0 FRENCH DRAIN LAYOUT
- C2.0 CONCRETE SITE PLAN LAYOUT
- C2.1 CONCRETE JOINTING PLAN
- C2.2 GRADING PLAN
- C3.0 DETAILS
- C3.1 SIDEWALK TURNDOWN AND RAILING DETAILS
- C3.2 GUARDRAIL 1A
- C3.3 GUARDRAIL 1B
- C3.4 GUARDRAIL 2A
- C3.5 GUARDRAIL 2B
- A0.1 DOORS, WINDOWS AND WALL TYPE DETAILS
- A0.2 HEAD, JAMB AND SILL DETAILS
- EX.1 EXISTING FLOOR PLAN
- EX.1A EXISTING LOWER LEVEL FLOOR PLAN
- EX.2 EXISTING REFLECTED CEILING PLAN
- EX.2A EXISTING LOWER LEVEL REFLECTED CEILING PLAN
- D.1 SITE DEMOLITION PLAN
- D1.1 DEMOLITION FLOOR PLAN
- D1.1A LOWER LEVEL DEMOLITION PLAN
- D1.2 REFLECTED CEILING DEMOLITION PLAN
- D1.2A LOWER LEVEL REFLECTED CEILING DEMOLITION PLAN
- A1.1 NEW CONSTRUCTION PLAN
- A1.1A LOWER LEVEL NEW CONSTRUCTION PLAN
- A1.2 REFLECTED CEILING NEW CONSTRUCTION PLAN
- A1.2A LOWER LEVEL REFLECTED CEILING NEW CONSTRUCTION PLAN
- A2.1 ENLARGED FLOOR PLANS AND ELEVATIONS
- A2.1A ADD ALTERNATE #2: LOWER LEVEL ENLARGED FLOOR PLANS AND ELEVATIONS
- A2.2 SECTIONS AND DETAILS
- A2.2A SECTIONS AND DETAILS - DELETED
- A2.3 SECTIONS AND DETAILS
- A2.3A ADD ALTERNATE #2: LOWER LEVEL ENLARGED PLANS, ELEVATIONS & DETAILS
- A5.1 FINISH FLOOR PLAN - ISSUE NEW SHEET - FINISH FLOOR AND SIGNAGE PLAN
- A5.1A LOWER LEVEL FINISH FLOOR PLAN - ISSUE NEW SHEET - ADD ALTERNATE #2: LOWER LEVEL FINISH AND SIGNAGE PLAN
- A5.2 REFLECTED CEILING MOLDING AND TRIM PLAN
- A6.1 MAIN HALL PERSPECTIVE
- E-1 NOTES, SCHEDULES AND DETAILS
- E-1A NOTES, SCHEDULES AND DETAILS
- E-2 FACILITY LIGHTING PLAN
- E-2A LOWER LEVEL LIGHTING PLAN
- E-3 FACILITY POWER PLAN
- E-3A LOWER LEVEL POWER PLAN
- E-4 ONE-LINE RISER DIAGRAM
- M0.1 HVAC SCHEDULES AND NOTES
- M0.1A LOWER LEVEL HVAC SCHEDULES AND NOTES
- M0.2 KITCHEN HOOD DETAILS
- M0.2A LOWER LEVEL KITCHEN HOOD DETAILS
- M1.1 HVAC PLAN
- M1.1A LOWER LEVEL HVAC PLAN
- P0.1 PLUMBING SCHEDULES AND NOTES
- P0.1A LOWER LEVEL PLUMBING SCHEDULES AND NOTES
- P1.1 DRAIN / VENT PLAN
- P1.1A LOWER LEVEL DRAIN / VENT PLAN
- P2.1 DOMESTIC WATER PLAN
- P2.1A LOWER LEVEL DOMESTIC WATER PLAN
- T0.1 CAMERAS - TECHNOLOGY



1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
Phone: (931) 553-5113 - www.mcgrtn.org/engineer



1/30/26

COVER SHEET

LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

#### Project Team

**OWNER:**  
Montgomery County Government  
1 Millennium Plaza, Suite 205  
Clarksville, Tennessee 37040  
Tel: 931.648.5787  
County Mayor: Mayor Wes Golden  
Project Manager: Sally Read

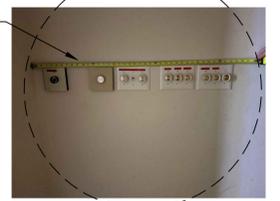
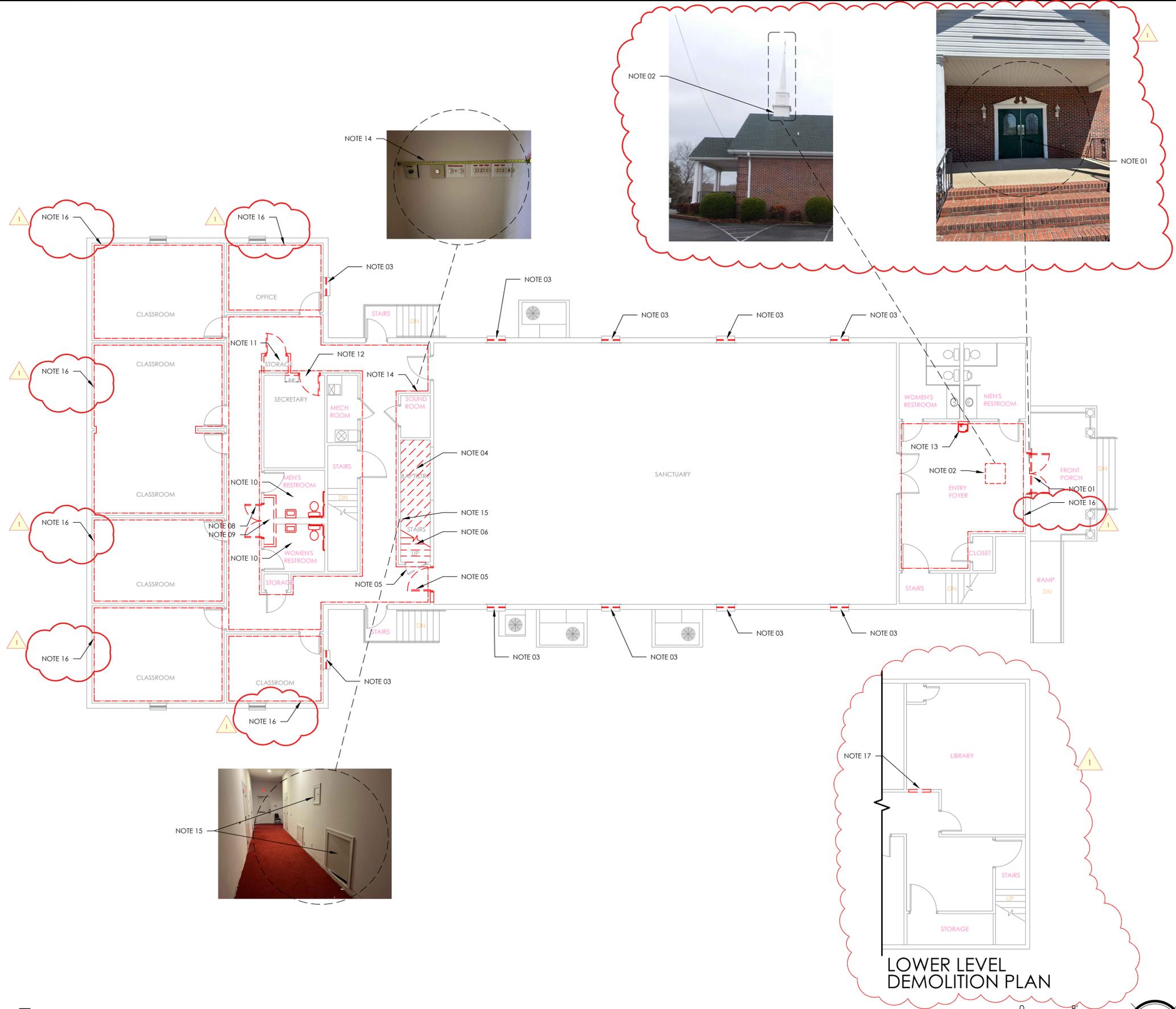
**CIVIL:**  
Hunter L. Staggs, P.E.  
1 Millennium Plaza, Suite 401  
Clarksville, Tennessee 37040  
Tel: 931.553.5113  
Engineer of Record: Hunter L. Staggs, P.E.  
Project Manager: Hunter L. Staggs, P.E.

**ARCHITECT:**  
Brett H. Harbison, R.A.  
1 Millenium Plaza, Suite 401  
Clarksville, Tennessee 37040  
Tel: 931.553.5113  
Architect of Record: Brett H. Harbison, R.A.  
Project Manager: Brett H. Harbison, R.A.

**MECHANICAL/PLUMBING/ELECTRICAL:**  
JM2 Associates, PLLC  
98D North Star Drive  
Jackson, Tennessee 38305  
Tel: 731.736.4441  
Engineer of Record:  
Project Manager: Brian Dougan, P.E.

PROJECT NO.	DESCRIPTION	DATE
	Bid Set	01/29/2026
	Addendum 2	02/13/2026
	Addendum 4	02/20/2026

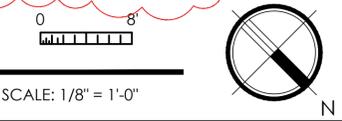
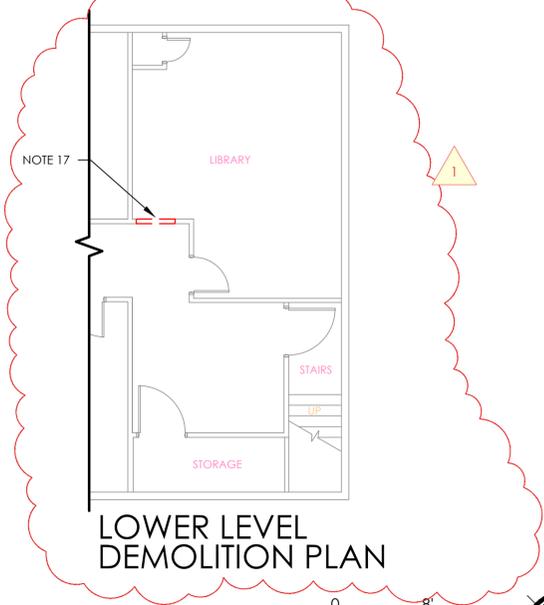
# GO.0



- ### PROJECT NOTES
- REMOVE EXISTING DOORS, FRAME, EXTERIOR AND INTERIOR TRIM AND MOLDING.
  - REMOVE EXISTING STEEPLE. PATCH ROOF DECK AS NEEDED. PATCH ROOF SHINGLES, MATCH EXISTING.
  - REMOVE EXISTING STAIN GLASS WINDOWS. KEEP WINDOWS INTACT TO RETURN THEM TO THE CHURCH.
  - REMOVE ALL ASSOCIATED PARTS (PLATFORM, PLUMBING, ETC.) OF EXISTING BAPTISTRY.
  - REMOVE DOOR AND FRAME. KEEP FOR REUSE.
  - REMOVE STAIRS FROM MAIN FLOOR LEVEL UP TO BAPTISTRY LEVEL.
  - NOT USED.
  - REMOVE DOORS AND FRAME FROM HALLWAY STORAGE. STORE DOORS FOR REUSE.
  - REMOVE STORAGE ROOM TO CREATE LARGER RESTROOMS.
  - REMOVE EXISTING GRAB BARS, TOILETS AND SINKS. (KEEP TOILETS AND SINKS FOR REUSE).
  - REMOVE EXISTING HALLWAY STORAGE ROOM. (KEEP DOOR FOR REUSE).
  - REMOVE DOOR AND FRAME. WIDEN OPENING FOR DOUBLE DOOR INSTALLATION. (KEEP DOOR FOR REUSE).
  - REMOVE EXISTING SINGLE ELECTRIC WATER COOLER.
  - ELECTRICIAN WILL REMOVE EXTRA LIGHT SWITCHES AND CONDENSE DOWN TO ONLY NEEDED SWITCHES. SEE ELECTRICAL DRAWINGS.
  - REMOVE ACCESS PANELS IN CORRIDOR AND INFILL TO RETURN WALL TO 1-HR RATED.
  - REMOVE EXISTING GYP BOARD TO 1'-0" AFF AND REPLACE WITH NEW IN ALL AREAS RECEIVING NEW RUBBER BASE TRIM. DEMOLISH WALL FOR NEW 3' x 7' DOOR OPENING.
  - DEMOLISH WALL FOR NEW 3' x 7' DOOR OPENING.

- ### GENERAL NOTES
- ALL DOOR, WALL AND WINDOW OPENINGS SHALL BE CLEANED AND PREPPED FOR NEW DOOR AND WINDOW INSTALLATIONS.
  - ALL NEWLY EXPOSED SUBFLOOR SHALL HAVE ALL NAILS AND SPLINTERED WOOD REMOVED.
  - CAP ALL PLUMBING WHERE FIXTURES HAVE BEEN REMOVED AND PREP FOR INSTALLATION OF NEW FIXTURES.

- ### LEGEND
- DENOTES DEMOLITION
  - EXISTING TO REMAIN
  - SELECTIVE DEMOLITION (REMOVE CONTINUOUS BAND OF GYP BOARD FROM EXISTING FLOOR LEVEL TO 1'-0" ABOVE IT WHERE NEW RUBBER BASE IS TO BE INSTALLED.)



**MCCO**  
MONTGOMERY COUNTY  
TENNESSEE  
ENGINEERING

1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
Phone: (931) 553-5113 - www.mcgtno.org/engineer



1/30/26

DEMOLITION FLOOR PLAN  
LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

PROJECT NO.	
DESCRIPTION	
DATE	01/29/2026
Bid Set	02/20/2026
Addendum 4	

# D1 DEMOLITION FLOOR PLAN

# D1.1

### KEY NOTES

- 01 DAMAGED WOOD FROM POSSIBLE WATER INFILTRATION TO BE REPLACED AS NEEDED.
- 02 REMOVE RESTROOM FIXTURES AND WALLS. CLEAN AND PREP FOR NEW CONSTRUCTION.
- 03 REMOVE WINDOW COUNTERTOP AND PART OF WALL NEEDED TO INSTALL NEW COUNTERTOP. (COORDINATE WITH ELEVATIONS ON A2.1A)
- 04 REMOVE EXISTING EWC. CLEAN AND PREP FOR INSTALLATION OF NEW ACCESSIBLE COMBO UNIT.
- 05 REMOVE EXISTING DOOR. CLEAN AND PREP OPENING TO REVERSE THE DOOR SWING FROM RH OUTWARD TO LH OUTWARD AND REINSTALL DOOR. ROTON HINGE IS ACCEPTABLE IN THIS APPLICATION.
- 06 DIMENSIONS WHERE LOWER LEVEL FLOOR SLAB NEEDS TO BE REMOVED TO RUN NEW SANITARY SEWER LINES. COORDINATE LOCATIONS WITH PLUMBING DRAWINGS, SHEET P1.1A.
- 07 TIE NEW SEWER LINE INTO EXISTING.

### GENERAL NOTES

- VERIFY ALL EXISTING CONDITIONS TO BE DEMOLISHED. CONTACT ARCHITECT IF CONDITIONS DIFFER FROM WHAT'S SHOWN.
- SAWCUT AND REMOVE LOWER LEVEL FLOOR SLAB TO INSTALL NEW SANITARY SEWER LINES. TIE INTO EXISTING LINES AND KEEP THEM IF POSSIBLE. BACK FILL WITH STONE AND POUR NEW CONCRETE SLAB.
- TIE EXISTING DRAIN AND SEWER LINES INTO NEW SEWER LINE. EXISTING FLOOR DRAINS ARE TO REMAIN.
- REMOVE PIPING IN KITCHEN THAT WILL NOT BE NEEDED FOR THE FINAL FIXTURES.

### LEGEND

-  DENOTES DEMOLITION
-  EXISTING TO REMAIN



1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
Phone: (931) 553-5113 - www.mcgtnc.org/engineer

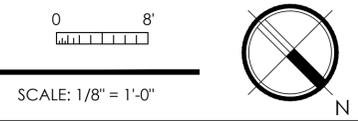


1/30/26

**ADD ALTERNATE 2: LOWER LEVEL DEMOLITION PLAN**  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE ROAD**  
**CUNNINGHAM, TENNESSEE**

PROJECT NO.	DESCRIPTION
BHH	Bid Set
01/29/2026	02/20/2026
	Addendum 4

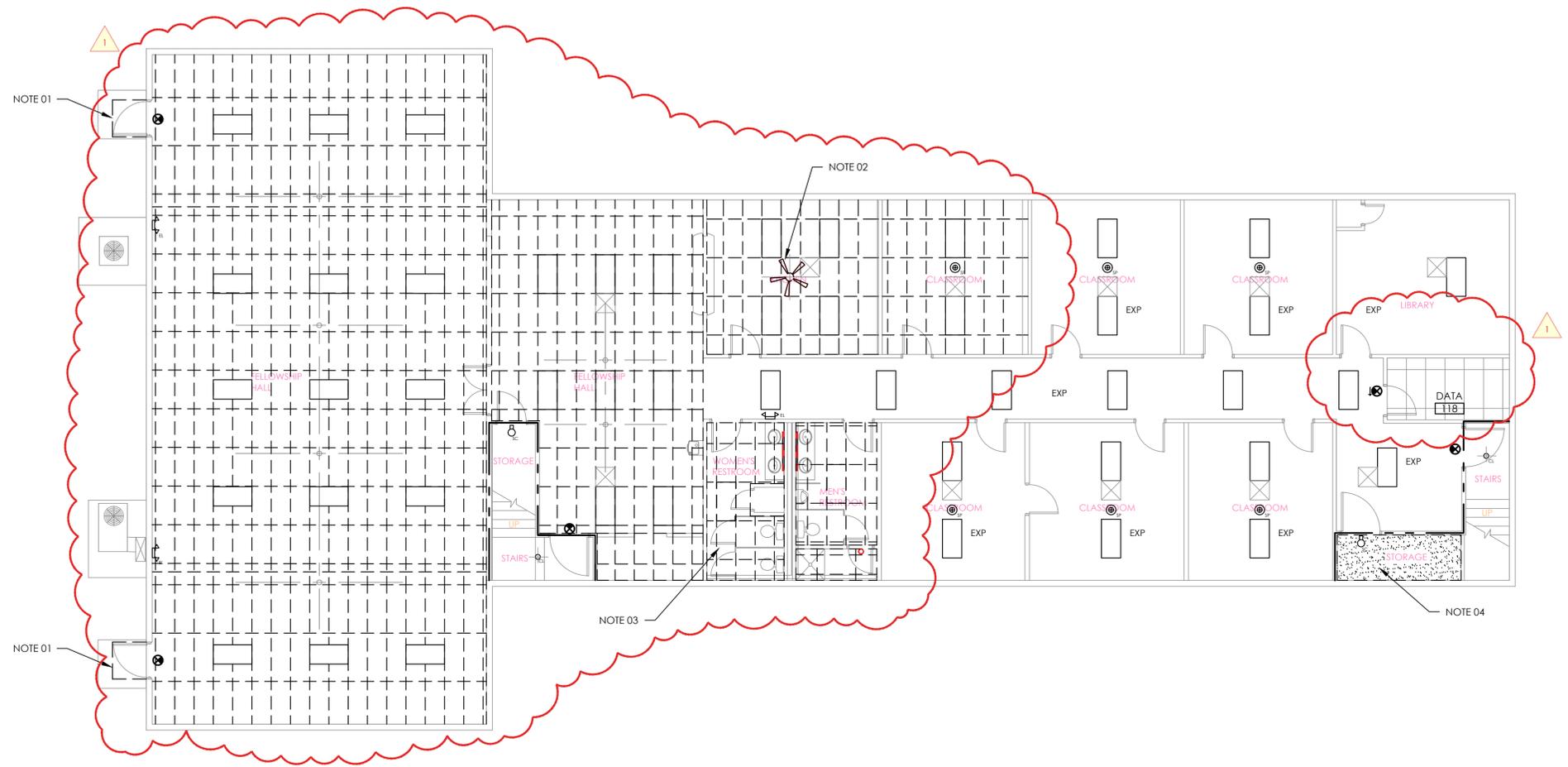
# D1 LOWER LEVEL DEMOLITION PLAN



# D1.1A

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A



**KEY NOTES**

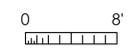
- 01 REMOVE OVERHEAD CANOPY
- 02 REMOVE GYP BOARD CEILING
- 03 REMOVE CEILING TILES, GRID AND LIGHTS
- 04 REMOVE GYP BOARD CEILING IN STORAGE ROOM TO ALLOW FOR REPAIR OF STAIRS

**GENERAL NOTES**

- VERIFY ALL CONDITIONS TO BE DEMOLISHED PRIOR TO BEGINNING WORK. CONTACT ARCHITECT IF CONDITIONS DIFFER FROM WHAT'S SHOWN.
- CLEAN AND PREP ALL AREAS FOR INSTALLATION OF NEW FINISHES.
- DO NOT REMOVE CEILING IN DATA ROOM #118.

**LEGEND**

- DENOTES DEMOLITION
- ==== EXISTING TO REMAIN
- EXP EXPOSED
- [Stippled Box] GYP BOARD CEILING
- [Fan Symbol] CEILING FAN



SCALE: 1/8" = 1'-0"



**D2** LOWER LEVEL REFLECTED CEILING DEMOLITION PLAN

1/30/26

**ADD ALTERNATE #2: LOWER LEVEL REFLECTED CEILING DEMOLITION PLAN**

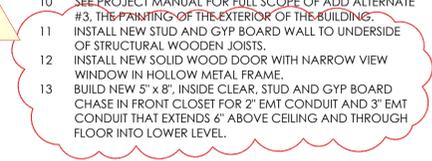
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE ROAD**  
**CUNNINGHAM, TENNESSEE**

DRAWN BY	PROJECT NO.
BHH	
DATE	DESCRIPTION
01/29/2026	Bid Set
02/20/2026	Addendum 4

**D1.2A**

# PROJECT NOTES

- 01 INSTALL NEW ENTRY DOORS WITH REMOVABLE CENTER MULLION.
- 02 INSTALL NEW ADA ACCESSIBLE ELECTRIC WATER COOLER COMBO UNIT.
- 03 INSTALL NEW INSULATED DOUBLE CASEMENT WINDOWS. MATCH EXISTING.
- 04 REPAIR BRICK HEADER ON THIS WINDOW.
- 05 FINISH OUT THIS WALL BELOW THE BAPTISTRY AND INFILL REMAINING OPENING WITH GYPSUM BOARD WALL.
- 06 REINSTALL EXISTING DOUBLE DOORS FROM REAR HALLWAY STORAGE ROOM AT NEW STORAGE ROOM.
- 07 INSTALL THRESHOLD TRANSITION RAMP.
- 08 INSTALL NEW LIGHT SWITCHES. (SEE ELECTRICAL DRAWINGS).
- 09 VERIFY THIS WALL IS CONSTRUCTED PROPERLY TO BE A 1-HR FIRE WALL. PATCH ALL OPENINGS IN THIS WALL TO RETURN WALL TO FULLY COMPLIANT 1-HR RATED INTEGRITY.
- 10 SEE PROJECT MANUAL FOR FULL SCOPE OF ADD ALTERNATE #3. THE PAINTING OF THE EXTERIOR OF THE BUILDING.
- 11 INSTALL NEW STUD AND GYP BOARD WALL TO UNDERSIDE OF STRUCTURAL WOODEN JOISTS.
- 12 INSTALL NEW SOLID WOOD DOOR WITH NARROW VIEW WINDOW IN HOLLOW METAL FRAME.
- 13 BUILD NEW 5' x 8' INSIDE CLEAR, STUD AND GYP BOARD CHASE IN FRONT CLOSET FOR 2" EMT CONDUIT AND 3" EMT CONDUIT THAT EXTENDS 6" ABOVE CEILING AND THROUGH FLOOR INTO LOWER LEVEL.



# GENERAL NOTES

EXISTING INFORMATION TAKEN FROM LIMITED SITE OBSERVATIONS. FIELD VERIFY LAYOUT & DIMENSIONS PRIOR TO CONSTRUCTION ACTIVITIES. NOTIFY ARCHITECT IF CONDITIONS VARY FROM INFORMATION SHOWN.

ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO ANY NEW CONSTRUCTION.

REFER TO SHEET A0.1 FOR DOORS, FRAMES AND WINDOW SCHEDULES.

REFER TO SHEET A0.1 FOR PARTITION TYPES. DETAILS ARE REFERENCED ONCE AS TYPICAL AND SHALL BE APPLIED TO LIKE CONDITIONS.

REFER TO SHEET A1.2 FOR REFLECTED CEILING PLAN.

REFER TO SHEETS A2.1 & A2.2 FOR ENLARGED PLANS AND ELEVATIONS.

REFER TO SHEET A5.1 FOR FLOOR FINISH LAYOUT.

REPAIR DAMAGES AS A RESULT OF CONSTRUCTION ACTIVITIES.

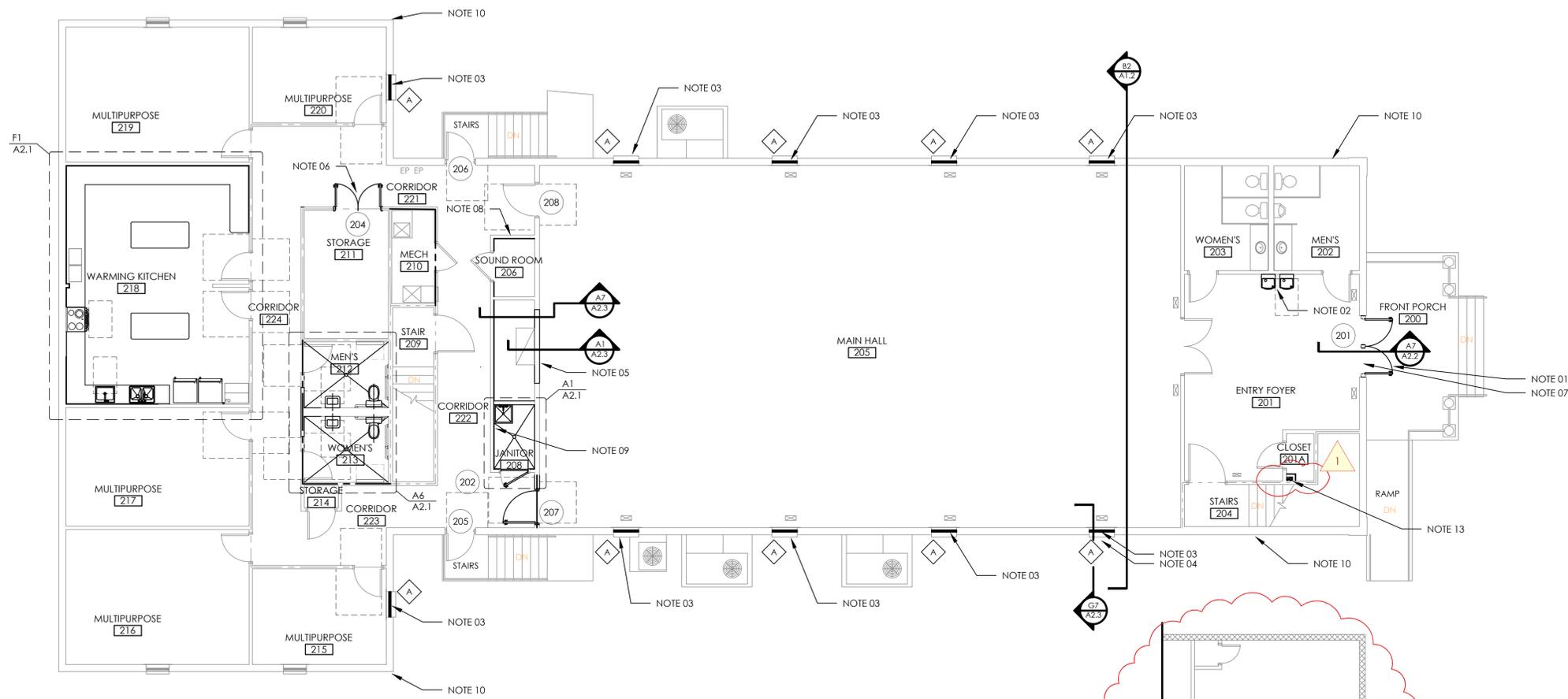
UNLESS NOTED OTHERWISE (U.N.O.), EXISTING LOAD-BEARING STRUCTURE, SUPPORTS, BRACING, SLABS, DECKING & RELATED STRUCTURAL SYSTEMS SHALL REMAIN UNDISTURBED. PROTECT FROM DAMAGE DURING CONSTRUCTION.

DASHED LINES AT DOORS, PLUMBING FIXTURES AND KITCHEN EQUIPMENT REPRESENT ADA ACCESSIBLE CLEARANCES. SEE SHEET G0.3 FOR MORE DETAILED INFORMATION.

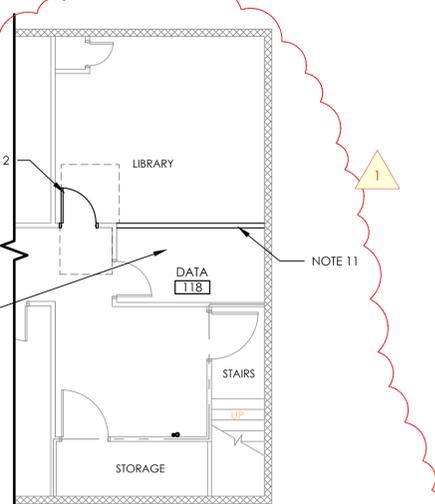
ADD ALTERNATE #3 WILL BE THE PAINTING OF THE EXTERIOR OF THE BUILDING. SEE DESCRIPTION IN THE PROJECT MANUAL.

# LEGEND

- (201) DOOR MARKER - SEE SHEET A0.1
- (A) WINDOW MARKER - SEE SHEET A0.1
- EXISTING WALLS TO REMAIN
- NEW WALLS - SEE SHEET A0.1
- - - EXISTING 1-HR FIRE WALL TO REMAIN
- - - NEW 1-HR FIRE WALL
- - - EXISTING 2-HR FIRE WALL TO REMAIN
- EP ELECTRICAL PANEL

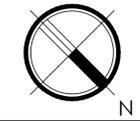


**ELECTRICAL NOTES:**  
 1. ADD NEW QUAD RECEPTACLE IN DATE ROOM.  
 2. PROVIDE NEW 20A 120V BRANCH CIRCUIT FROM PANEL 'K'.  
 3. PROVIDE NEW 20A 120V BRANCH CIRCUIT FROM PANEL 'K' FOR DATA ROOM EXHAUST FAN.  
 4. PROVIDE A SINGLE POLE WALL MOUNTED TOGGLE SWITCH FOR EXHAUST FAN CONTROL.



LOWER LEVEL NEW CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"



# A1 NEW CONSTRUCTION PLAN



1/30/26

NEW CONSTRUCTION PLAN  
 LONE OAK COMMUNITY CENTER  
 4445 LOUISE ROAD  
 CUNNINGHAM, TENNESSEE

PROJECT NO.	DESCRIPTION
BHH	Bid Set
01/29/2026	Addendum 4
02/20/2026	

# A1.1

MARK	DOOR		FRAME							FIRE RATING LABEL	HARDWARE SET NUMBER	NOTES
	SIZE	DOOR KEYNOTE	EL	GLAZING KEYNOTE	FRAME KEYNOTE	EL	HEAD	JAMB	SILL			
101	3'-0" x 6'-8" x 1 3/4"	EXISTING	---	---	---	---	---	---	---	---	---	EXIST. DOOR
102	3'-0" x 6'-8" x 1 3/4"	EXISTING	---	---	---	---	---	---	---	---	---	EXIST. DOOR

DOORS ARE EXISTING DOORS THAT HAVE BEEN STORED FOR REUSE FROM THE UPPER LEVEL. MATCH ALL HARDWARE TO EXISTING.

### KEY NOTES

- 01 INCREASE SIZE OF WATER HEATER IF NEEDED.
- 02 REPLACE DAMAGED WOOD AS NEEDED.
- 03 ACCESSIBLE CLEARANCE (SEE G0.3A).

### GENERAL NOTES

- EXISTING INFORMATION TAKEN FROM LIMITED SITE OBSERVATIONS. FIELD VERIFY LAYOUT & DIMENSIONS PRIOR TO CONSTRUCTION ACTIVITIES. NOTIFY ARCHITECT IF CONDITIONS VARY FROM INFORMATION SHOWN.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO ANY NEW CONSTRUCTION.
- REFER TO SHEET A0.1A FOR DOORS AND FRAMES.
- REFER TO SHEET A0.1A FOR PARTITION TYPES. DETAILS REFERENCED ONCE AS TYPICAL AND SHALL BE APPLIED TO LIKE CONDITIONS.
- REFER TO SHEET A1.2A FOR REFLECTED CEILING PLAN.
- REFER TO SHEET A2.1A AND A2.3A FOR ENLARGED PLANS, ELEVATIONS AND DETAILS.
- REFER TO SHEET A5.1A FOR FLOOR FINISH LAYOUT.
- REPAIR DAMAGES AS A RESULT OF CONSTRUCTION ACTIVITIES.
- UNLESS NOTED OTHERWISE, EXIST. LOAD-BEARING STRUCTURE, SUPPORTS, BRACING, SLABS, DECKING & RELATED STRUCTURAL SYSTEMS SHALL REMAIN UNDISTURBED. PROTECT FROM DAMAGE DURING CONSTRUCTION.
- DASHED LINES AT DOORS, PLUMBING FIXTURES AND KITCHEN EQUIPMENT REPRESENT ADA ACCESSIBLE CLEARANCES. SEE SHEET G0.3A FOR MORE DETAILED INFORMATION.

### LEGEND

- (101) DOOR MARKER - SEE SHEET A0.1
- EXISTING WALLS TO REMAIN
- NEW WALLS - SEE SHEET A0.1
- - - EXISTING 1-HR FIRE WALL
- - - EXISTING 2-HR FIRE WALL
- WH WATER HEATER



1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
Phone: (931) 553-5113 - www.mcgtnc.org/engineer

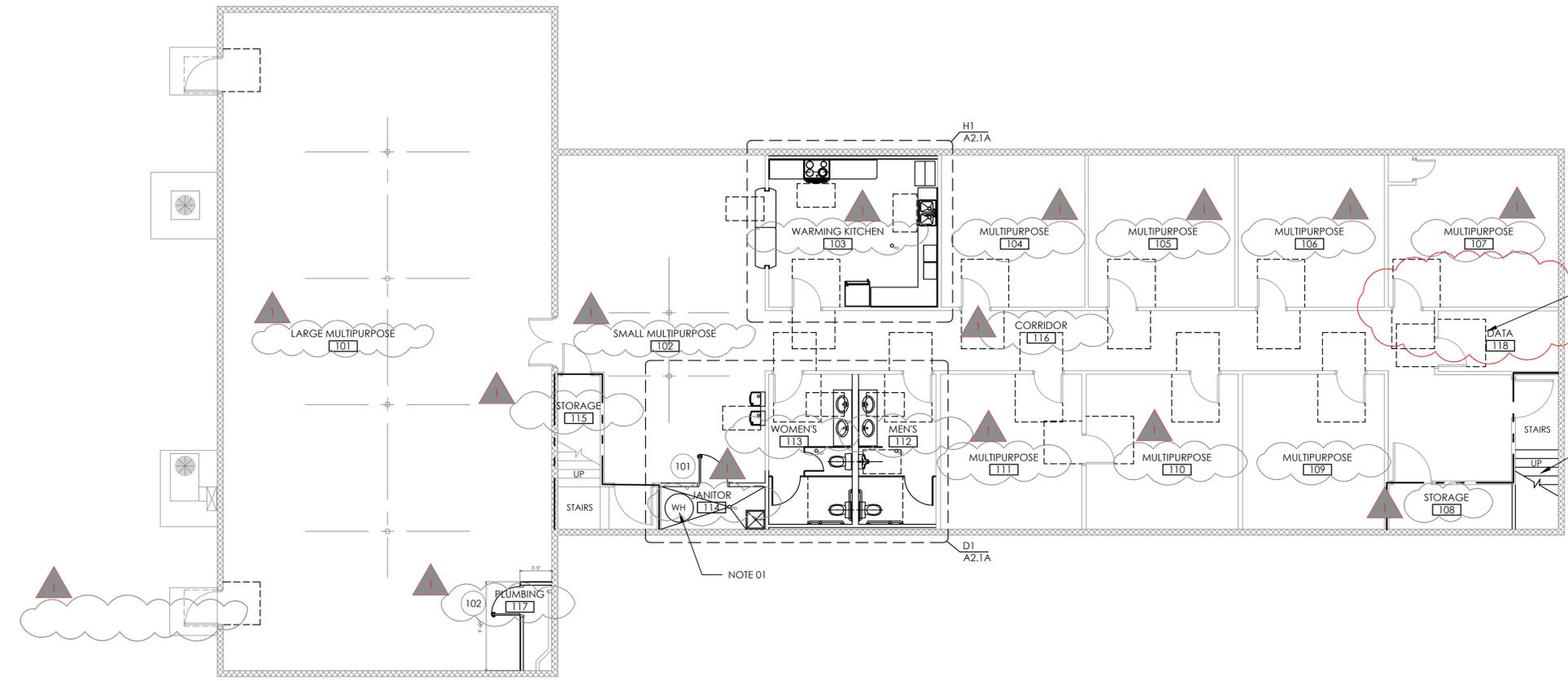


1/30/26

**ADD ALTERNATE 2: LOWER LEVEL NEW CONSTRUCTION PLAN**  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE ROAD**  
**CUNNINGHAM, TENNESSEE**

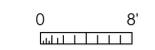
PROJECT NO.	DESCRIPTION
BHH	Bid Set
01/29/2026	Addendum 2
02/13/2026	Addendum 4
02/20/2026	Addendum 4

**A1.1A**



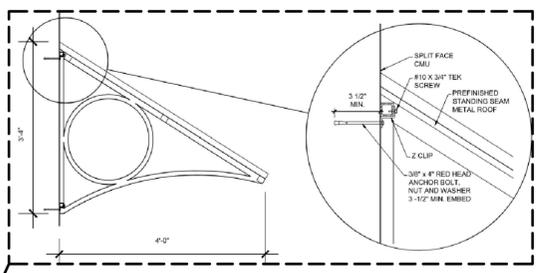
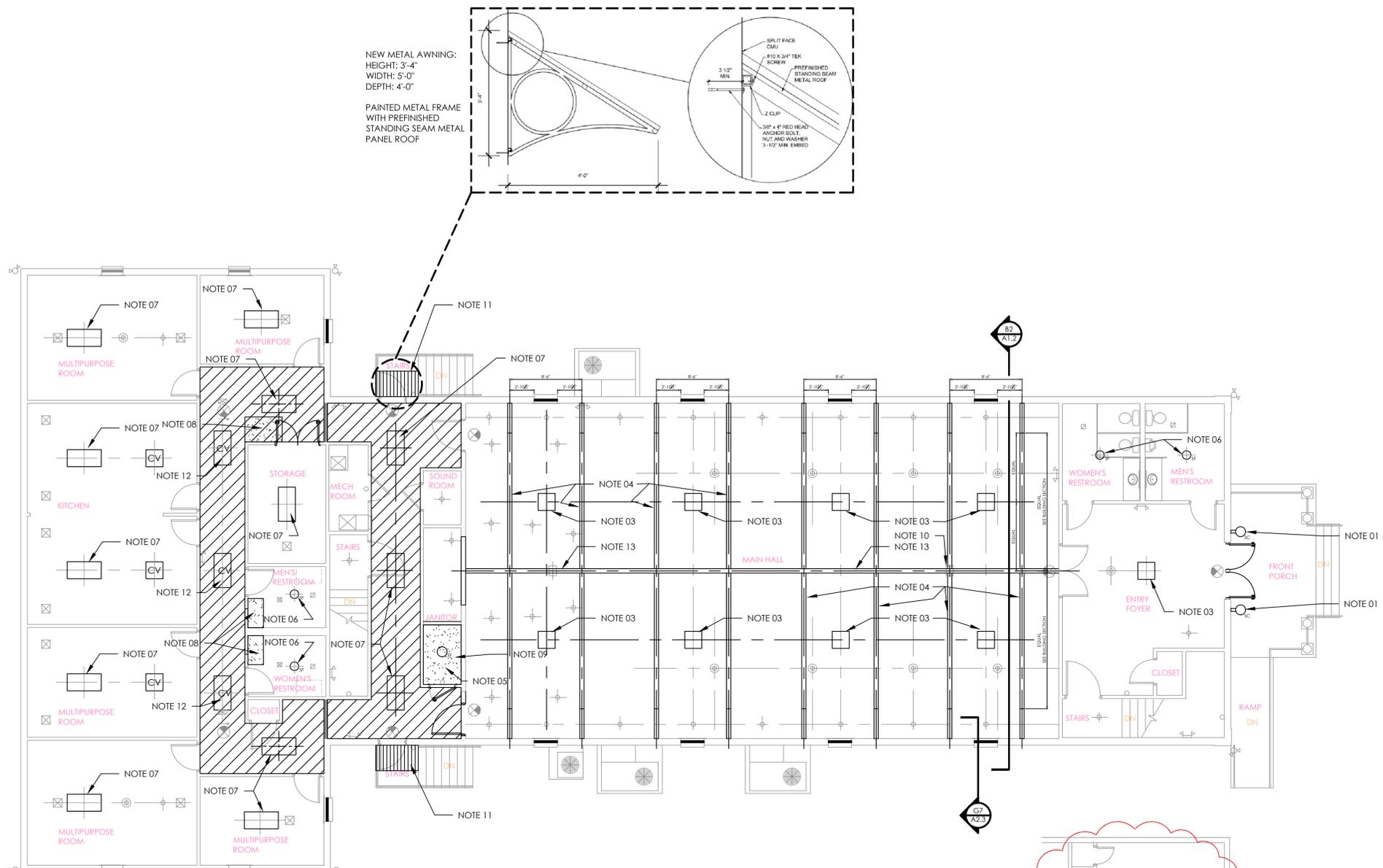
NEW CONSTRUCTION PLAN

# A1 LOWER LEVEL NEW CONSTRUCTION PLAN



SCALE: 1/8" = 1'-0"





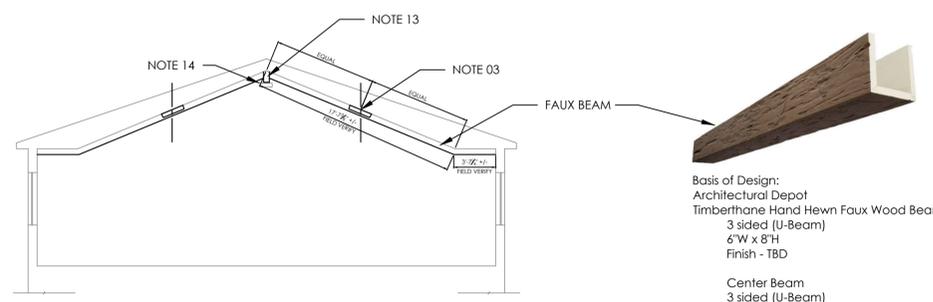
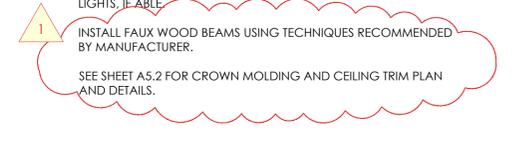
**PROJECT NOTES**

- 01 INSTALL NEW LED EXTERIOR WALL SCONCES AT ENTRY DOORS.
- 02 INSTALL NEW LED LIGHT FIXTURE IN ENTRY FOYER.
- 03 INSTALL NEW LED SURFACE MOUNTED 2x2 LIGHT FIXTURES IN MAIN HALL.
- 04 INSTALL NEW FAUX WOODEN BEAMS IN MAIN HALL.
- 05 INSTALL NEW WET AREA RATED SURFACE MOUNTED LIGHT FIXTURE IN NEW JANITOR CLOSET.
- 06 INSTALL NEW WET AREA RATED SURFACE MOUNTED LIGHT FIXTURES.
- 07 INSTALL NEW SURFACE MOUNTED 2x4 LIGHT FIXTURE.
- 08 PATCH EXISTING GYP BOARD CEILING TO MATCH.
- 09 INSTALL NEW MOLD AND MILDEW RESISTANT GYP BOARD CEILING IN JANITOR CLOSET.
- 10 LOWER EXISTING PROJECTOR TO BE BELOW CENTER BEAM.
- 11 INSTALL NEW 4' x 5' STANDING SEAM METAL AWNING. SEE DETAIL ON THIS SHEET FOR MORE INFORMATION.
- 12 RECONFIGURE EXISTING LIGHTS TO LED AND REINSTALL.
- 13 NEW 6"x1'-0" FAUX WOOD CENTER BEAM.
- 14 INSTALL NEW CEILING GRID AND ACOUSTICAL CEILING TILES (TO MATCH EXISTING) IN THE NEW LOWER LEVEL DATA ROOM.
- 15 INSTALL NEW 2x4 LED LIGHT FIXTURES IN GRID IN NEW LOWER LEVEL DATA ROOM.
- 16 INSTALL NEW EXHAUST FAN IN NEW LOWER LEVEL DATA ROOM.



**GENERAL NOTES**

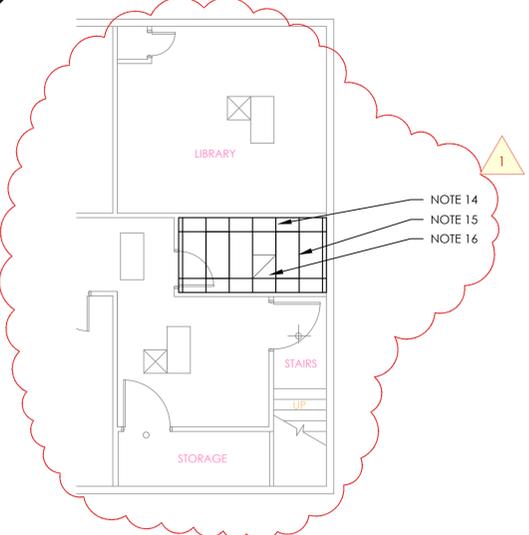
- NEW SURFACE MOUNTED 2x2 LED LIGHT FIXTURES IN THE MAIN HALL SHALL BE CENTERED IN THE SLOPED CEILING ON BOTH SIDES. HOLES FROM THE REMOVED CHANDELIERS SHALL BE PATCHED TO MATCH THE EXISTING CEILING. USE EXISTING CIRCUITS FOR NEW LIGHTS, IF ABLE.
- INSTALL FAUX WOOD BEAMS USING TECHNIQUES RECOMMENDED BY MANUFACTURER.
- SEE SHEET A5.2 FOR CROWN MOLDING AND CEILING TRIM PLAN AND DETAILS.



**B2 BUILDING SECTION**

**Basis of Design:**  
 Architectural Depot  
 Timberthane Hand Hewn Faux Wood Beam  
 3 sided (U-Beam)  
 6"W x 8"H  
 Finish - TBD

**Center Beam**  
 3 sided (U-Beam)  
 6"W x 12"H  
 Finish - TBD



**LEGEND - NEW**

- SURFACE FIXTURE
- WALL SCONCE
- 2x2' LED LIGHT FIXTURE
- 2x4' LED LIGHT FIXTURE
- EXISTING LIGHT FIXTURE CONVERTED TO LED
- AIR SUPPLY VENT
- EXHAUST VENT
- FAUX WOODEN BEAM
- GYP BOARD CEILING
- EXTERIOR OVERHEAD CANOPY
- EXISTING BULKHEAD
- NEW 1-HOUR RATED CEILING

**MCOO**  
 MONTGOMERY COUNTY  
 TENNESSEE  
 ENGINEERING

1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
 Phone: (931) 553-5113 - www.mcgrn.org/engineer



1/30/26

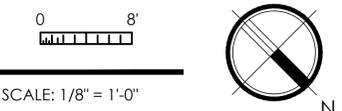
**REFLECTED CEILING  
 NEW CONSTRUCTION PLAN**

**LONE OAK COMMUNITY CENTER  
 4445 LOUISE ROAD  
 CUNNINGHAM, TENNESSEE**

PROJECT NO.	
DESCRIPTION	
DATE	01/29/2026
Bid Set	02/20/2026
Addendum 4	

**A1.2**

**A2 REFLECTED CEILING NEW CONSTRUCTION PLAN**



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A



2/20/26

**ADD ALTERNATE 2: LOWER LEVEL REFLECTED CEILING NEW CONSTRUCTION PLAN**

LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

PROJECT NO.	
DESCRIPTION	
Bid Set	
Addendum 4	
DRAWN BY	BHH
DATE	01/29/2026
	02/20/2026

**A1.2A**

WHEN PLOTTED FULL SIZE THIS SHEET MEASURES 22" X 34"

**KEY NOTES**

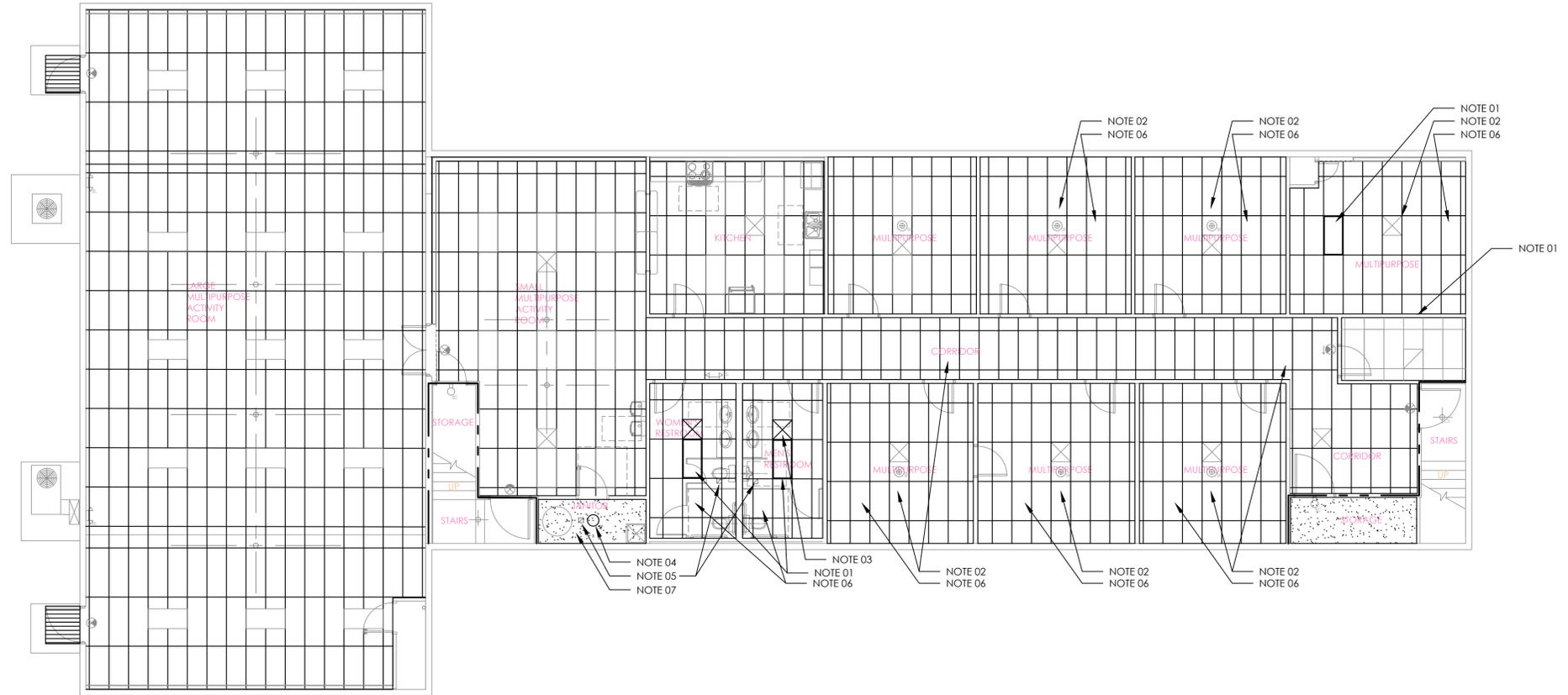
- 01 INSTALL NEW 2x4 LIGHT FIXTURES
- 02 REINSTALL EXISTING 2x4 LIGHT FIXTURES, SUPPLY VENTS AND SPEAKERS
- 03 INSTALL NEW SUPPLY VENT
- 04 INSTALL NEW SURFACE MOUNTED LIGHT FIXTURE IN NEW JANITOR CLOSET
- 05 INSTALL NEW EXHAUST VENT
- 06 INSTALL NEW 2x4 ACOUSTIC TILE CEILING AND SUSPENDED GRID
- 07 INSTALL NEW GYP BOARD CEILING

**GENERAL NOTES**

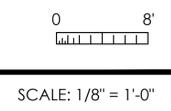
- CLEAN AND PREP ENTIRE AREA PRIOR TO BEGINNING ANY WORK.
- LET ALL MATERIALS ACCLIMATE TO BUILDING PRIOR TO INSTALLATION.
- PATCH ALL DAMAGE TO EXISTING CEILINGS TO ORIGINAL CONDITION.

**LEGEND - NEW**

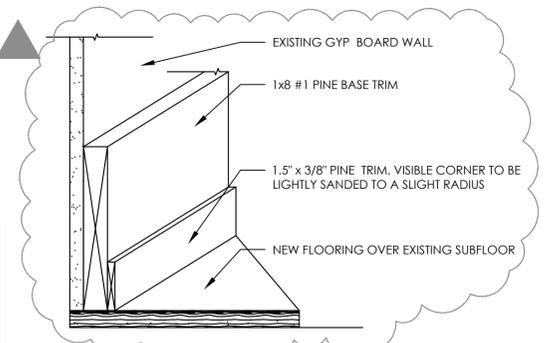
- SURFACE FIXTURE
- ⊠ EXHAUST VENT
- ⊡ SUPPLY VENT
- [Grid Symbol] NEW 2x4' LAY-IN ACOUSTICAL CEILING TILE & GRID
- [Box Symbol] 2x4' LIGHT FIXTURE - MOUNTED IN GRID
- [Stippled Symbol] NEW GYP BOARD CEILING
- [Hatched Symbol] NEW EXTERIOR OVERHEAD CANOPY



**A2 LOWER LEVEL REFLECTED CEILING NEW CONSTRUCTION PLAN**



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15



ROOM FINISH SCHEDULE																									
ROOM NAME	ROOM NUMBER	FRONT PORCH	ENTRY FOYER	ENTRY CLOSET	MEN'S RESTROOM	WOMEN'S RESTROOM	STAIRS - NIC	MAIN HALL	SOUND ROOM	NOT USED	JANITOR	STAIRS - NIC	MECHANICAL	STORAGE	MEN'S RESTROOM	WOMEN'S RESTROOM	STORAGE	MULTIPURPOSE	MULTIPURPOSE	WARMING KITCHEN	MULTIPURPOSE	CORRIDOR	CORRIDOR	CORRIDOR	
MATERIAL NAME																									
LUXURY VINYL PLANK																									
RESILIENT VINYL BASE																									
EPOXY FLOORING- INTEGRAL COVE BASE																									
1X6 #1 PINE OR BETTER W/ 1.5X3/8" FLAT TRIM																									
INTERIOR LATEX EGG-SHELL																									
FRP PANELS - TYPE 01																									
INTERIOR LATEX EGG-SHELL																									
INTERIOR LATEX EGG-SHELL																									
FAUX WOOD BEAMS																									
SPEC SECTION																									
REMARKS																									

- ### PROJECT NOTES
- INSTALL NEW LUXURY VINYL PLANK (LVP) THROUGHOUT UPPER FLOOR.
  - NO NEW FLOORING WILL BE INSTALLED IN THE FRONT RESTROOMS OR THE MECHANICAL ROOM.
  - INSTALL NEW EPOXY FLOORING WITH INTEGRAL COVE BASE.
  - INSTALL NEW TRANSITION THRESHOLD RAMP

- ### GENERAL NOTES
- PREP ALL SUBFLOOR AREAS BY REMOVING ANY AND ALL POPPED UP NAILS, REPLACING THEM WITH SCREWS.
  - LEVEL SUBFLOOR AS MUCH AS POSSIBLE, EVEN USING A SELF-LEVELING COMPOUND FOR LARGER AREAS.
  - REPLACE ALL DAMAGED AREAS OF THE SUBFLOOR.
  - SAND DOWN ANY SUBFLOOR JOINTS THAT AREN'T LEVEL.
  - ALLOW ALL NEW MATERIALS TO ACCLIMATE TO BUILDING PRIOR TO INSTALLATION.
  - DO FINAL CLEANING OF FLOOR PRIOR TO INSTALLING NEW LVP.
  - PROTECT NEWLY INSTALLED LVP TO KEEP IT FROM BEING DAMAGED BY BEING WALKED ON AND MOVING / INSTALLING EQUIPMENT.

- ### LEGEND
- NEW LUXURY VINYL PLANK (LVP) FLOORING
  - NEW EPOXY FLOORING WITH WALL BASE AND INTEGRAL COVE
  - ETR EXISTING TO REMAIN
  - FLOOR REGISTER
  - NEW TRANSITION THRESHOLD RAMP



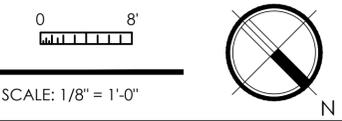
2/20/26

**FINISH FLOOR AND SIGNAGE PLAN**  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE ROAD**  
**CUNNINGHAM, TENNESSEE**

PROJECT NO.	
DESCRIPTION	
Bid Set	
Addendum 2	
Addendum 4	
DRAWN BY	BHH
DATE	01/29/2026
	02/13/2026
	02/20/2026

**A5.1**

**A5** FINISH FLOOR AND SIGNAGE PLAN



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A

ROOM FINISH SCHEDULE									
ROOM NAME	ROOM NUMBER	FLOOR	BASE	WALLS	CEILING	MATERIAL NAME	SPEC SECTION	REMARKS	
LARGE MULTIPURPOSE	101	●	●	●	●	LUXURY VINYL PLANK			
SMALL MULTIPURPOSE	102	●	●	●	●	EPOXY FLOORING			
WARMING KITCHEN	103	●	●	●	●	EXPOSED CONCRETE			
MULTIPURPOSE	104	●	●	●	●	RESILIENT VINYL BASE			
MULTIPURPOSE	105	●	●	●	●	EPOXY FLOORING INTEGRAL COVE BASE			
MULTIPURPOSE	106	●	●	●	●	1X8 #1 PINE OR BETTER W/ 1.5X3/8" FLAT TRIM		SEE DETAIL	
MULTIPURPOSE	107	●	●	●	●	INTERIOR LATEX EGG-SHELL			
STORAGE	108	●	●	●	●	FRP PANELS - TYPE 01			
MULTIPURPOSE	109	●	●	●	●	INTERIOR LATEX EGG-SHELL			
MULTIPURPOSE	110	●	●	●	●	ACT IN SUSPENDED GRID			
MULTIPURPOSE	111	●	●	●	●	INTERIOR LATEX EGG-SHELL			
MEN'S RESTROOM	112	●	●	●	●			MOISTURE/MILDEW RESIST	
WOMEN'S RESTROOM	113	●	●	●	●			MOISTURE/MILDEW RESIST	
JANITOR	114	●	●	●	●				
STORAGE	115	●	●	●	●				
CORRIDOR	116	●	●	●	●				
PLUMBING	117	●	●	●	●				
STAIR	204	●	●	●	●				
STAIR	209	●	●	●	●				

**KEY NOTES**

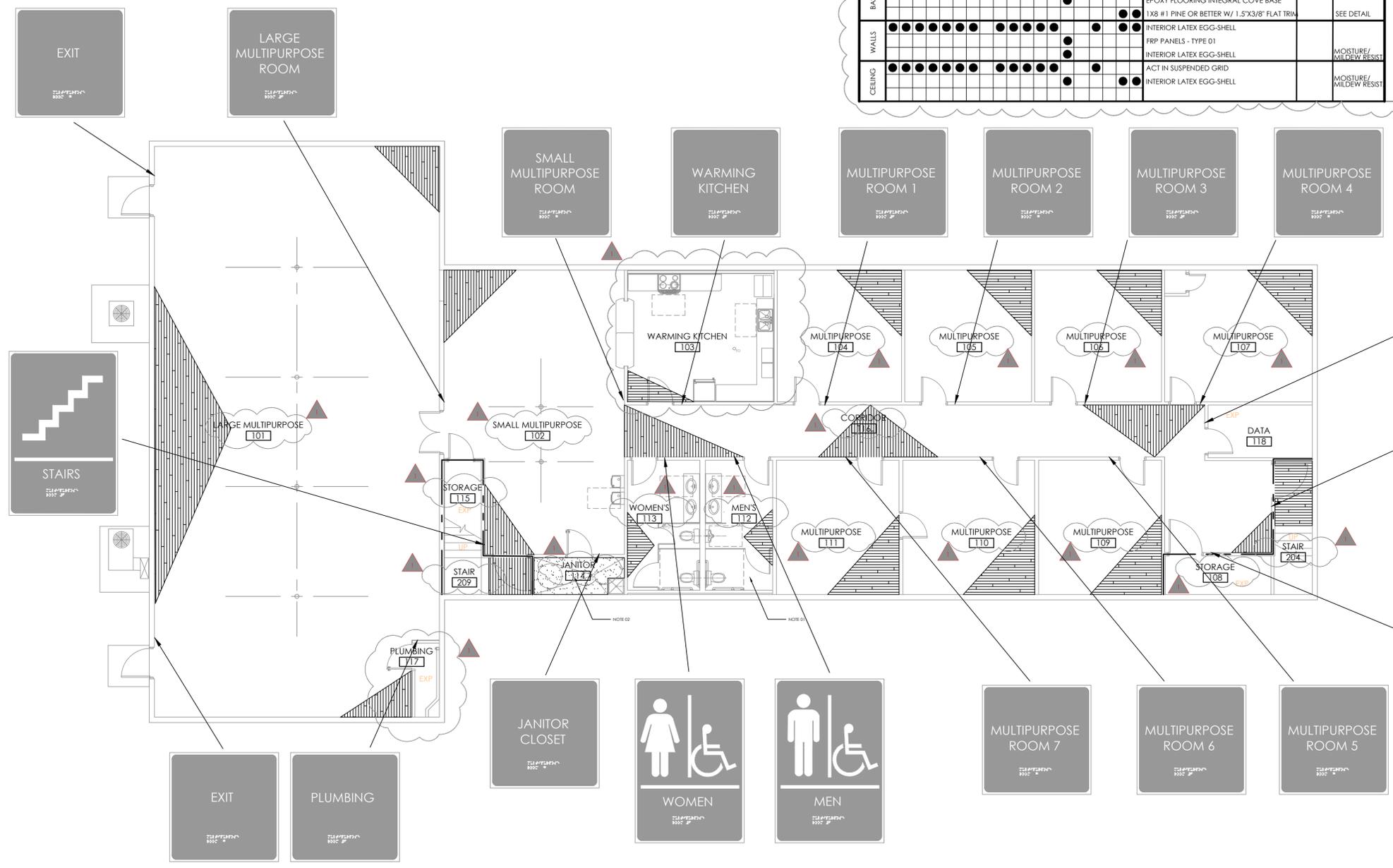
- 01 NEW FLOORING WILL BE INSTALLED IN THE RESTROOMS.
- 02 INSTALL NEW EPOXY FLOORING WITH INTEGRAL COVE BASE IN THE NEW JANITOR CLOSET.

**GENERAL NOTES**

- INSTALL NEW LUXURY VINYL PLANK (LVP) THROUGHOUT LOWER LEVEL UNLESS NOTED OTHERWISE.
- LEVEL CONCRETE SLAB SUBFLOOR AS MUCH AS POSSIBLE, EVEN USING A SELF-LEVELING COMPOUND FOR LARGE AREAS.
- FILL, PATCH OR REPLACE ALL DAMAGED AREAS OF THE SUBFLOOR.
- ALLOW ALL NEW MATERIALS TO ACCLIMATE TO BUILDING PRIOR TO INSTALLATION.
- PROTECT NEWLY INSTALLED LVP TO KEEP IT FROM BEING DAMAGED BY BEING WALKED ON AND MOVING / INSTALLING EQUIPMENT.
- ALLOW NEW CONCRETE FLOOR TO FULLY CURE BEFORE INSTALLING NEW FLOORING, TOILET FIXTURES AND EQUIPMENT.

**LEGEND**

- EXP EXPOSED CONCRETE FLOOR
- FD FLOOR DRAIN
- WOOD PLANK LVP
- EPOXY FLOORING



DATA

STAIRS

STAIRS

STORAGE

**MCOO**  
MONTGOMERY COUNTY  
TENNESSEE  
ENGINEERING

1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
Phone: (931) 553-5113 - www.mcgrn.org/engineer



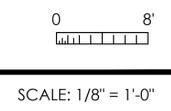
1/30/26

**ADD ALTERNATE 2: LOWER LEVEL FINISH AND SIGNAGE PLAN**

LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

PROJECT NO.	DESCRIPTION
BHH	Bid Set
01/29/2026	Addendum 2
02/13/2026	Addendum 4
02/20/2026	Addendum 4

**A5 LOWER LEVEL FINISH AND SIGNAGE PLAN**



**A5.1A**

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A

**PROJECT NOTES**

- 01 1" x 8" WOOD TRIM, #1 PINE, PAINTED WHITE.
- 02 1" x 4" WOOD TRIM, #1 PINE, PAINTED WHITE.

**MCOO**  
MONTGOMERY COUNTY  
TENNESSEE  
ENGINEERING

1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
Phone: (931) 553-5113 - www.mcotn.org/engineer



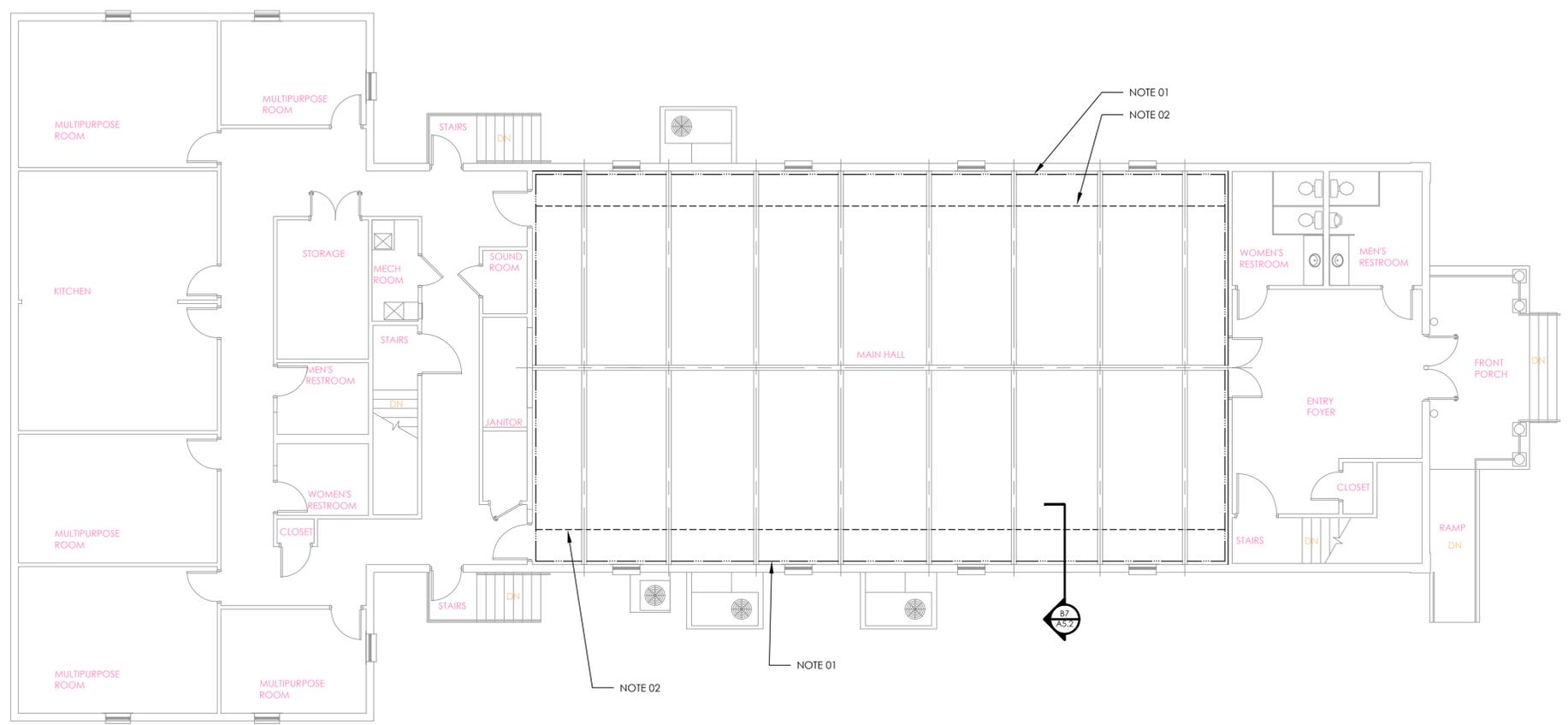
2/20/26

**REFLECTED CEILING  
MOLDING AND TRIM PLAN**  
  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE ROAD**  
**CUNNINGHAM, TENNESSEE**

PROJECT NO.	
DESCRIPTION	
Bid Set	
Addendum 4	
DRAWN BY	BHH
DATE	01/29/2026
	02/20/2026

**A5.2**

WHEN PLOTTED FULL SIZE THIS SHEET MEASURES 22" X 34"

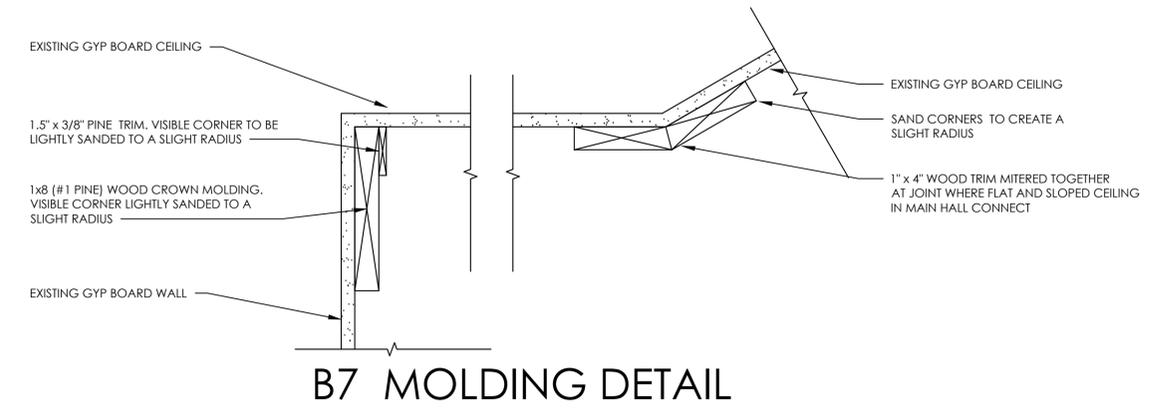


**GENERAL NOTES**

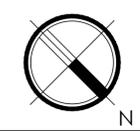
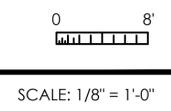
- NEW MOLDING AND TRIM TO BE INSTALLED AS CLOSE TO CEILING AS POSSIBLE. ALL JOINTS TO BE FILLED WITH WOOD PUTTY AND SANDED SMOOTH BEFORE BEING PAINTED.
- ALL JOINTS ALONG TRIM AND CEILING AND WALLS TO BE CAULKED AND PAINTED.
- ALL EXPOSED CORNER EDGES SHALL BE SANDED TO A SLIGHT RADIUS PRIOR TO BEING PAINTED.
- BACKGROUND PLAN SHOWN SHADED FOR CLARITY.

**LEGEND**

- 1" x 8" WOOD TRIM, (#1 PINE) WITH 1 1/2" x 3/8" (PINE). ALL PAINTED WHITE.
- - - 1" x 4" WOOD TRIM, #1 PINE, PAINTED WHITE.



**A5 REFLECTED CEILING MOLDING AND TRIM PLAN**





HVAC SCHEDULES AND NOTES

LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

DRAWN BY RTJ	PROJECT NO.	
	DATE	02/20/2026
	DESCRIPTION	Addendum 4

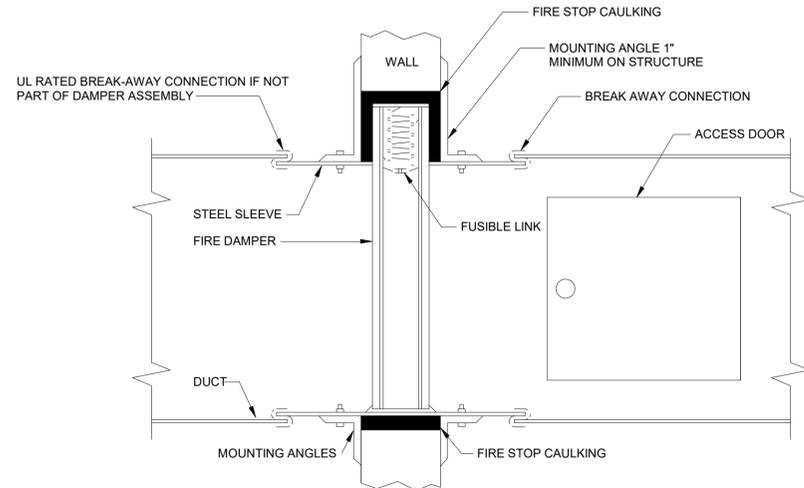
**M0.1**

**HVAC NOTES**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL, STATE, & FEDERAL BUILDING CODES AND STATE HEALTH REGULATIONS AS WELL AS ANY APPLICABLE LOCAL REQUIREMENTS.
- THESE DRAWINGS ARE DIAGRAMMATIC AND ARE NOT SHOP DRAWINGS. THIS CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE FABRICATION OF DUCTWORK OR PIPING AND PROVIDE NECESSARY OFFSETS AND APPURTENANCES IN DUCTWORK AND PIPING TO AVOID ALL OBSTRUCTIONS.
- ALL MATERIALS SHALL BE NEW AND OF THE FINEST QUALITY.
- ALL WORK SHALL BE PERFORMED BY TRADESMEN THAT ARE TRAINED AND HIGHLY SKILLED IN THE WORK THAT THEY ARE TO PERFORM.
- ALL EQUIPMENT, MATERIALS, AND LABOR FURNISHED BY THIS CONTRACTOR SHALL BE WARRANTED BY HIM FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- HVAC CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR ALL VOLTAGES, ELECTRICAL LOADS, ETC. OF ELECTRICALLY OPERATED EQUIPMENT PRIOR TO ORDERING. ALL WIRING BY ELECTRICAL CONTRACTOR.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS, INSPECTIONS, ETC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE COORDINATION.
- ROUTE ALL DUCTWORK PARALLEL AND PERPENDICULAR TO BUILDING LINES. DUCTWORK SHALL BE HUNG LEVEL AND FREE OF BENDS, CRIMPS AND SAGS.
- DUCTWORK SHALL BE CONSTRUCTED OF PRIME GALVANIZED SHEET METAL. USE OF FIBERGLASS DUCTBOARD IS NOT ACCEPTABLE. ALL JOINTS SHALL BE SEALED WITH HIGH-PRESSURE DUCT SEALANT. PROVIDE TURNING VANES AT ALL ELBOWS AND OFFSETS. ALL DUCTWORK SHALL BE ROUTED CONCEALED WHERE POSSIBLE AND SHALL BE SECURELY SUPPORTED FROM THE BUILDING STRUCTURAL ELEMENTS.
- ALL INSULATED DUCTWORK SHALL HAVE EXTERNAL WRAP OR INTERNAL LINER. DUCT SIZES SHOWN ON THE DRAWINGS ARE CLEAR AIR DIMENSIONS AND HAVE NOT BEEN ADJUSTED FOR INTERNAL LINER. EXPOSED ROUND DUCT SHALL BE PAINT GRIP DOUBLE WALL SPIRAL DUCT WITH FIBERGLASS INSULATION BETWEEN THE WALLS.
- CONSTRUCT ALL SUPPLY AIR DUCTWORK IN ACCORDANCE WITH SMACNA STANDARDS FOR 2" PRESSURE CATEGORY. CONSTRUCT ALL RETURN AIR DUCTWORK IN ACCORDANCE WITH SMACNA STANDARDS FOR 1" PRESSURE CATEGORY.
- LIMIT LENGTHS OF FLEXIBLE DUCTWORK TO 6'-0" OR LESS.
- ALL DUCTWORK LOCATED OUTSIDE OF THE BUILDING ENVELOPE, INCLUDING UNINSULATED ATTIC OR MEZZANINE SPACES, SHALL BE INSULATED WITH MINIMUM R-8 INSULATION. DUCTWORK LOCATED IN UNCONDITIONED SPACES WITHIN THE BUILDING ENVELOPE SHALL BE INSULATED WITH MINIMUM R-6 INSULATION. DUCTWORK LOCATED IN CONDITIONED SPACES SHALL BE INSULATED FOR CONDENSATION CONTROL ONLY.
- SEAL ALL LONGITUDINAL AND TRANSVERSE SEAMS BEFORE APPLYING INSULATION.
- EXPOSED DUCT SHALL BE FABRICATED USING "PAINT GRIP" GALVANIZING.
- PROVIDE DEEP SEAL PVC CONDENSATE TRAPS ON AIR CONDITIONERS. IF ALLOWED BY LOCAL CODE, CONDENSATE PIPING SHALL BE ASTM D-2665, D-1785, SCHEDULE 40 PVC WITH PVC FITTINGS. JOINTS SHALL BE ASTM D-2855. SOLVENT WELDED WITH ASTM D-2864 SOLVENT CEMENT.
- THE COMPLETED INSTALLATION SHALL BE IN ACCORDANCE WITH ALL UTILITY COMPANY REGULATIONS, APPLICABLE INDUSTRY STANDARDS OF GOOD PRACTICE AND SAFETY AND THE MANUFACTURERS' RECOMMENDATIONS FOR EQUIPMENT AND PRODUCT APPLICATION AND INSTALLATION.
- THE CONTRACTOR SHALL VISIT THE SITE, OBSERVE EXISTING CONDITIONS AND VERIFY THAT THE WORK CAN BE INSTALLED IN ACCORDANCE WITH THE DESIGN.
- SUBMIT PRODUCT DATA SHEETS AND SHOP DRAWINGS REPRESENTING THE WORK PROPOSED TO BE INSTALLED, PRIOR TO THE ACTUAL INSTALLATION, FOR REVIEW AND COMMENT BY THE ARCHITECT. SHOP DRAWINGS SHALL SHOW ALL EQUIPMENT, MAINTENANCE CLEARANCE, ETC.
- ALL PENETRATIONS THROUGH RATED WALLS OR FLOORS SHALL BE SEALED WITH AN APPROVED U.L. LISTED FIREPROOFING TO MAINTAIN THE INTEGRITY OF THE WALL OR FLOOR.
- THE CONTRACTOR SHALL TEST AND BALANCE THE NEW HVAC SYSTEMS AND SHALL SUBMIT COPIES OF TEST AND BALANCE REPORTS TO THE ENGINEER FOR REVIEW.
- INSTALL SMOKE DETECTORS IN THE DUCTWORK AT AIR CONDITIONERS FOR FAN SHUTDOWN IN ACCORDANCE WITH CODE.
- SUPPLY, INSTALL AND WIRE DIGITAL, NON-MERCURY, SEVEN-DAY PROGRAMMABLE THERMOSTATS/HUMIDISTATS FOR EACH AIR CONDITIONER. MOUNT THERMOSTATS WHERE INDICATED ON THE DRAWING AT 48" ABOVE THE FLOOR.
- VERIFY THAT EACH PIECE OF EQUIPMENT OR SYSTEM HAS BEEN CHECKED FOR PROPER LUBRICATION, DRIVE ROTATION, BELT TENSION, CONTROL SEQUENCE OR FOR OTHER CONDITIONS WHICH MAY CAUSE DAMAGE.
- DEMONSTRATE OPERATION AND MAINTENANCE OF PRODUCTS TO OWNER'S PERSONNEL ONE WEEK PRIOR TO DATE OF FINAL INSPECTION.
- EXECUTE FINAL CLEANING PRIOR TO FINAL PROJECT ASSESSMENT.
- LOCATE DUCTS AND EQUIPMENT WITH SUFFICIENT SPACE AROUND EQUIPMENT TO ALLOW NORMAL OPERATING AND MAINTENANCE ACTIVITIES.
- PROVIDE CANVAS, FLAME RETARDANT DUCT CONNECTORS AT ALL CONNECTIONS OF EQUIPMENT TO DUCTWORK.
- VERIFY FLOOR PLAN AND WALL/FLOOR/CEILING RATINGS WITH ARCHITECTURAL PLANS. PROVIDE RATED PENETRATIONS AT EACH INSTANCE WHERE MECHANICAL INSTALLATION PENETRATES A RATED ASSEMBLY. PENETRATIONS SHALL BE PER DETAILS ON DRAWINGS OR ANOTHER U.L. LISTED DESIGN.
- ALL SUPPLY AIR DIFFUSERS SHALL HAVE 4-WAY THROW UNLESS INDICATED OTHERWISE ON THE PLANS.
- FRAME STYLE OF ALL AIR DISTRIBUTION DEVICES SHALL MATCH THE TYPE OF CEILING/WALL IN WHICH THEY ARE INSTALLED. VERIFY WITH ARCHITECTURAL PLANS.
- THE COLOR OF ALL AIR DISTRIBUTION DEVICES SHALL BE AS DIRECTED BY THE ARCHITECT.
- COORDINATE WITH GENERAL CONTRACTOR ON SIZE AND LOCATION OF STRUCTURAL SUPPORT OR CONCRETE PADS FOR ANY EQUIPMENT REQUIRING SUPPORT.
- USE EQUIVALENT SQUARE INCHES TO CHANGE DUCT DIMENSIONS OR CONSULT WITH MECHANICAL ENGINEER IF NEEDED.
- DUCT PENETRATIONS THROUGH THE EXTERIOR WALL SHALL BE WEATHERPROOFED WITH FLASHING AND CAULK.
- THE AIR CONDITIONING EQUIPMENT SHALL BE MANUFACTURED BY DAIKIN, TRANE, YORK, CARRIER OR AN APPROVED EQUAL. THE EXHAUST FANS SHALL BE MANUFACTURED BY LOREN COOK, GREENHECK, AROVENT OR AN APPROVED EQUAL.

AIR DISTRIBUTION SCHEDULE		
MARK	DESCRIPTION	MODEL (EQUAL TO)
RG-1	42"X42" SIDEWALL RETURN GRILLE	NAILOR 5145
RG-2	24"X24" CEILING RETURN GRILLE, 14" NECK	NAILOR 4260
RG-3	24"X24" CEILING RETURN GRILLE, 10" NECK	NAILOR 4260
RG-4	24"X24" CEILING RETURN GRILLE, 8" NECK	NAILOR 4260
DG-1	12"X12" DOOR GRILLE	NAILOR 51DG

NOTE: DUCT RUNOUT TO MATCH GRILLE NECK SIZE UNLESS OTHERWISE NOTED



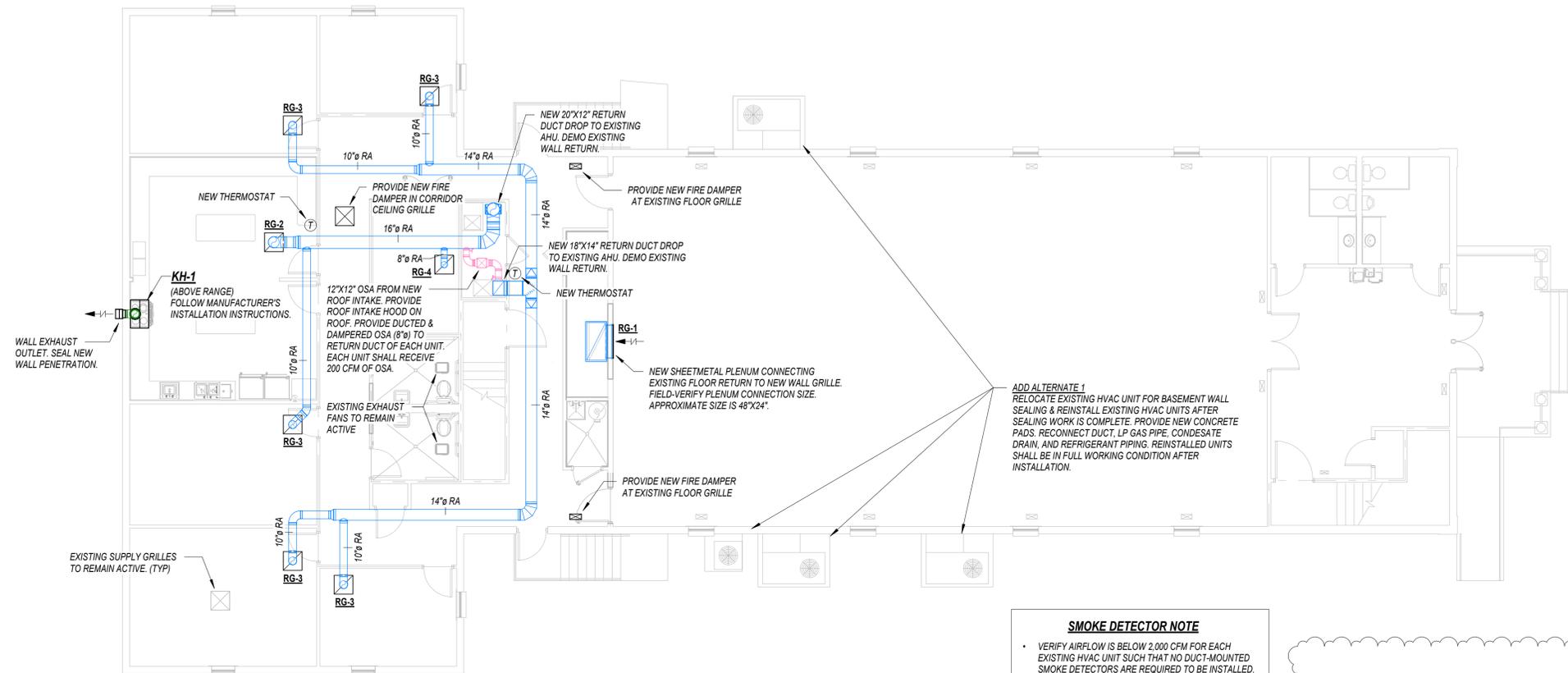
**NOTES:**

- DAMPERS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH UNDERWRITERS LABORATORIES SAFETY STANDARD 555.
- INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
- CLEARANCE BETWEEN FIRE DAMPER SLEEVE AND OPENING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION REQUIREMENTS FOR UL LISTED INSTALLATION.
- SLEEVE SHALL BE NO LESS THAN THE GAUGE OF THE CONNECTING DUCT
- PROVIDE ACCESS DOOR THAT ALLOWS INSPECTION AND REPLACEMENT OF FUSIBLE LINK

**1 FIRE DAMPER DETAIL**  
NTS

EXHAUST FAN SCHEDULE										
MARK	DESCRIPTION	AREA SERVED	CFM	ESP	FAN RPM	HP/FLA	VOLTAGE	MODEL	WEIGHT - LBS	NOTES
EF-1	CEILING MOUNTED	DATA ROOM	140	0.4"	1050	1.8 FLA	120/1	GREENHECK SP-B150	10	1,2,3,4,5

NOTES:  
1 PROVIDE DISCONNECT  
2 PROVIDE BACKDRAFT DAMPER  
3 PROVIDE THERMOSTAT FOR CONTROL  
4 SUPPORT FROM STRUCTURE

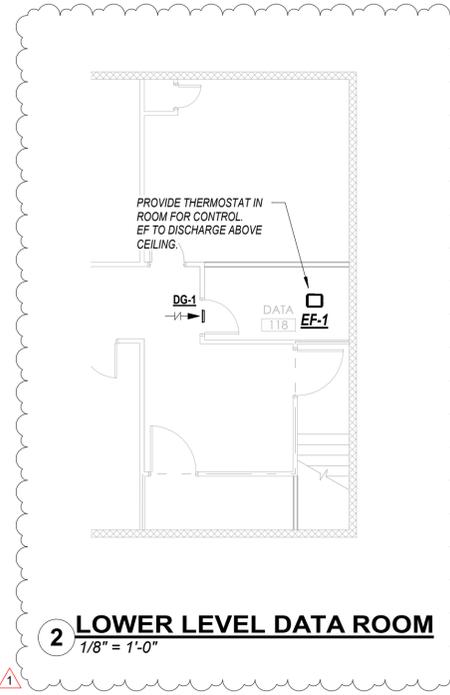


**1 HVAC PLAN**  
1/8" = 1'-0"

**SMOKE DETECTOR NOTE**

- VERIFY AIRFLOW IS BELOW 2,000 CFM FOR EACH EXISTING HVAC UNIT SUCH THAT NO DUCT-MOUNTED SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED.
- IF ANY DUCT DETECTORS ARE REQUIRED, THEY SHALL BE INDEPENDENT SYSTEMS, FURNISHED, INSTALLED, & WIRED FOR UNIT SHUTDOWN BY MECHANICAL CONTRACTOR.

**ADD ALTERNATE 1**  
RELOCATE EXISTING HVAC UNIT FOR BASEMENT WALL SEALING & REINSTALL EXISTING HVAC UNITS AFTER SEALING WORK IS COMPLETE. PROVIDE NEW CONCRETE PADS, RECONNECT DUCT, LP GAS PIPE, CONDENSATE DRAIN, AND REFRIGERANT PIPING. REINSTALLED UNITS SHALL BE IN FULL WORKING CONDITION AFTER INSTALLATION.



**2 LOWER LEVEL DATA ROOM**  
1/8" = 1'-0"

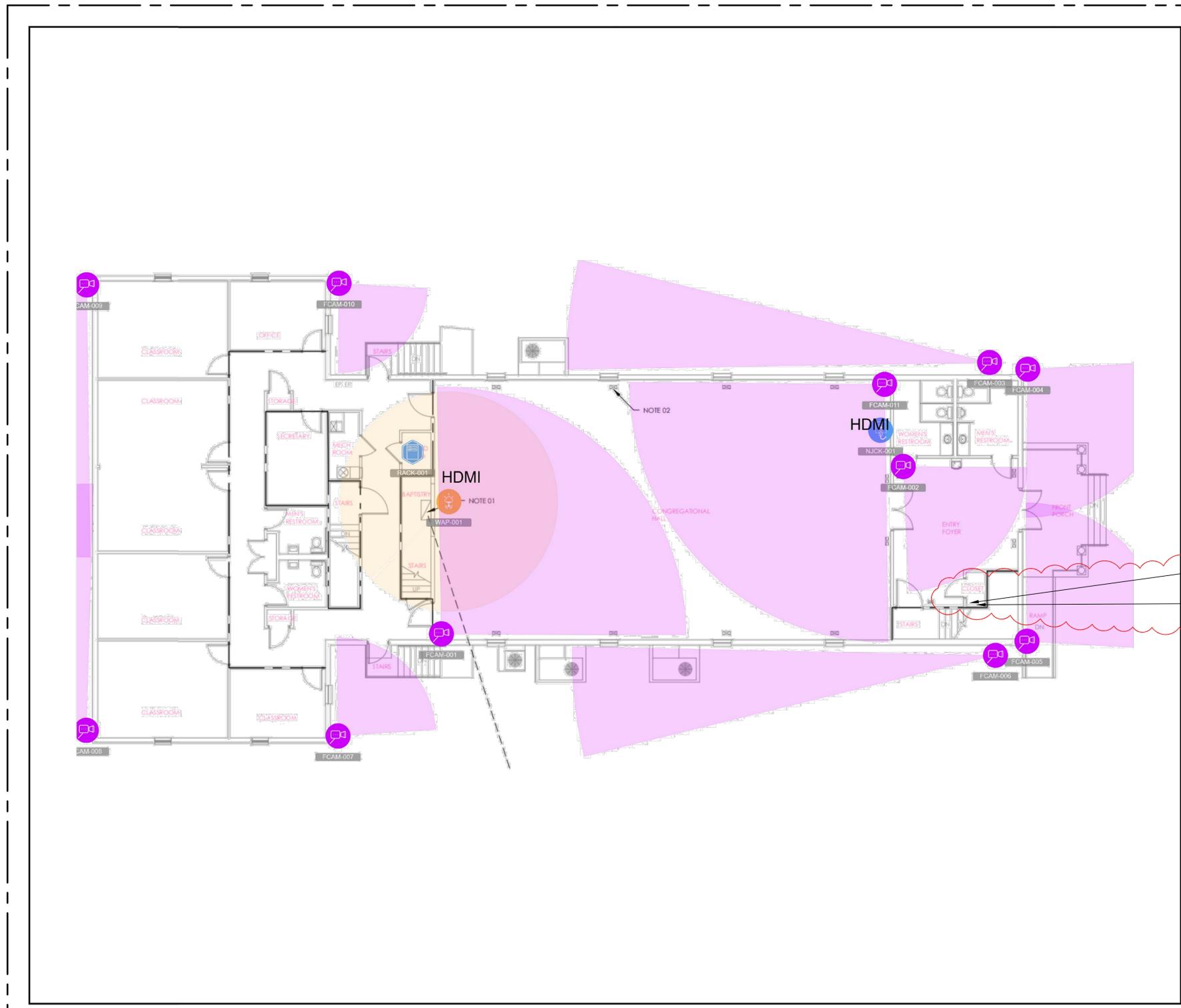


HVAC PLAN

LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

PROJECT NO.	DESCRIPTION
	Addendum 4

**M1.1**

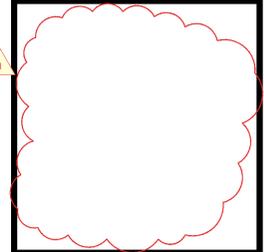


Video Surveillance		
	Wireless Access Point	1
	Fixed Camera	11
Audio Visual		
	Equipment Rack	1
	Network Jack	1

INSTALL 2" EMT CONDUIT FROM 6" ABOVE CEILING TO 4" BELOW FLOOR IN 5" x 8" CHASE

INSTALL 3" EMT CONDUIT FROM 6" ABOVE CEILING TO 4" BELOW FLOOR IN 5" x 8" CHASE

Montgomery County Government  
 Robert Bamford  
**PARKS N REC**  
**PARKS N REC - 1**  
 1/8/2026



**CAMERA TECHNOLOGY**

**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE ROAD**  
**CUNNINGHAM, TENNESSEE**

DRAWN BY	PROJECT NO.	DESCRIPTION
BHH		Bid Set
		Addendum 1
		Addendum 4

# TO.1