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## ENGINEERING

**ADDENDUM NUMBER:** TWO (2)

**DATE:** February 17, 2026

**PROJECT:** LONE OAK COMMUNITY CENTER

**DESIGNER:** BRETT HARBISON, ARCHITECT  
MONTGOMERY COUNTY ENGINEERING

**BID OPENING:** February 25, 2026 at 2:00 P.M.

**TO PLANHOLDERS:** This addendum is issued to modify the original Project Manual and Project Drawings, dated January 30, 2026 and Addendum #1 that was issued on February 11, 2026, is hereby made part of the contract documents. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

Review changes to each portion of the work, as changes of one portion may affect the work of another.

### PROJECT MANUAL:

1. Bid Form
  - a. Add Alternates
    - i. Add Alternate #1 – corrected summary to disconnect utilities and remove to a safe distance as needed to protect them during the excavation.
    - ii. Add Alternate #2 – the description of the scope of work is revised and replaces the description issued in Addendum #1.
    - iii. Add Alternate #3 – removed sentence to see plans for full scope of work.
2. Specification Section 01 23 00 ALTERNATES
  - a. Part 3 EXECUTION
    - i. 3.1 Schedule of Alternates
    - ii. Add Alternate #1 – corrected summary to disconnect utilities and remove to a safe distance as needed to protect them during the excavation.
3. Specification Section 01 23 00 ALTERNATES
  - a. Part 3 EXECUTION
    - i. 3.1 Schedule of Alternates
    - ii. Add Alternate #2 - the description of the scope of work is revised and replaces the description issued in Addendum #1.

**LONE OAK COMMUNITY CENTER**  
**ADDENDUM #2**  
**FEBRUARY 17, 2026**  
**PAGE 2**

4. Specification Section 01 23 00 ALTERNATES
  - a. Part 3 EXECUTION
    - i. 3.1 schedule of Alternates
    - ii. Add Alternate #3 – removed sentence to see plans for full scope of work.

**PROJECT DRAWINGS:**

**ITEM 01 Civil Sheets**

SHEET C1.0

Clarification, downspout lines do not tie into the French drain, there are three separate lines. The foundation French drain that daylights on the far East, the downspout collector that gets 3 northwest side of the building downspouts as shown, and one that gets corner downspout near the existing fence. Downspout collector for corner downspout has been downsized to 4".

Clarification for areas to receive waterproofing.

Clarification for approximate location of water line

Clarification to salvage and reuse existing landscaping stone at the end of the project.

Clarification for HVAC unit verification of operability before removal, removal, concrete pad replacement, and HVAC unit reinstallation.

Clarification on removal of chain link fence, and three rail vinyl fence.

SHEET C2.0

Clarification of type of Allan Block Retaining wall style, and the guardrail on top of the wall being taken out of the initial bid and if field conditions necessitate it, we will add it via change order.

Clarification of removal and disposal of existing shed.

Clarification on specifics of HVAC pads

SHEET C2.1 NONE

**LONE OAK COMMUNITY CENTER**  
**ADDENDUM #2**  
**FEBRUARY 17, 2026**  
**PAGE 3**

SHEET C2.2

Parking Area highlighted to be 6" of concrete instead of normal 4" thick walkway. 6" of stone required as well.

SHEET C3.0 NONE

SHEET C3.1-C3.5

Clarification on grades of steel for handrail tubing, pickets, and plates.

**ITEM 02 Architectural Sheets**

SHEET G0.0 – delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Corrected sheet names in the Index and deleted Sheet A2.2A.

SHEET G0.1A– delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Corrected sheet name

SHEET G0.2– delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Changed background to correct floor plan.

SHEET G0.2A – delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Updated kitchen layout to show correct plan.  
Corrected radius circles for fire extinguishers

SHEET G0.3A – delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Added correct border.  
Corrected sheet name.

SHEET G1.1B – delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Corrected sheet name.

SHEET G1.2 – delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

**LONE OAK COMMUNITY CENTER**  
**ADDENDUM #2**  
**FEBRUARY 17, 2026**  
**PAGE 4**

Revised note in Specification Section 09 91 00 Painting.  
Added note to Specification Section 10 14 00 Signage  
Added Specification Section 10 71 14 Exterior Window Shades, Blinds and Coverings.  
Added Specification Section 22 44 00 Food Service Plumbing Fixtures Disposals.

SHEET G1.2A – delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Corrected sheet name.  
Revised note in Specification Section 09 91 00 Painting.  
Added note in Specification Section 10 14 00 Signage.

Added Specification Section 22 44 00 Food Service Plumbing Fixtures Disposals.

SHEET EX.1A – delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Revised General Notes.

SHEET D.1 – delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Revised Project Note 02 with more detail on what to do with utilities during Excavation.  
Revised Project Note 12 providing direction on existing landscaping.  
Revised Project Note 13 providing more direction on what to do with existing metal storage building.

SHEET A1.1A– delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Corrected sheet name.  
Revised Key Notes by deleting Note 04.  
Revised General Notes to refer to sheets A2.1A and A2.3A for Enlarged Plans, Elevations and Details.  
Removed Note 04 callout.  
Added correct Room Names and Numbers.

SHEET A2.1 – delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Revised Key Notes 02, 03, 04, 05, 09 to show that these items are Owner Furnished Contractor Installed (OFCl).  
Added Key Note 34 to call out new switch for garbage disposal.  
Revised Legend by adding OFCl Owner Furnished Contractor Installed.

**LONE OAK COMMUNITY CENTER**  
**ADDENDUM #2**  
**FEBRUARY 17, 2026**  
**PAGE 5**

Revised Toilet Accessories Legend to identify which accessories are Owner  
Furnished Contractor Installed.

Elevations were revised to show where outlets, switches were added or removed  
to show better coordination with electrical and other items were cleaned  
up to be consistent.

SHEET A2.1A – delete sheet dated January 30, 2026 and replace with Sheet  
dated February 17, 2026.

Corrected sheet name.

Revised Key Notes 02, 03, 04, 05 to identify these items were Owner Furnished  
Contractor Installed (OFCl).

Revised Legend by adding OFCl - Owner Furnished Contractor Installed.

Revised Toilet Accessories Legend to identify which accessories are Owner  
Furnished Contractor Installed.

SHEET A2.2 – delete sheet dated January 30, 2026 and replace with Sheet dated  
February 17, 2026.

Revised Key Notes 01, 02, 03.

Revised Sections and Details to show correct conditions and new design.

SHEET A2.2A – DELETED

SHEET A2.3 – delete sheet dated January 30, 2026 and replace with Sheet dated  
February 17, 2026.

Revised Key Note 01

Revised General Notes by deleting one.

Revised Signage elevations to show correct signs needed in Base Bid.

SHEET A2.3A – delete sheet dated January 30, 2026 and replace with Sheet  
dated February 17, 2026.

Corrected sheet name.

Revised General Notes to add more detail in note about wood trim.

Corrected Section and Detail callouts.

Revised note in Section A1 about rebar spacing and pattern.

Created Detail D5 SIGNAGE – showing correct signage needed for ADD  
ALTERNATE #2.

SHEET A5.1 – delete sheet dated January 30, 2026 and replace with Sheet dated  
February 17, 2026.

Revised Room Finish Schedule to add wooden base.

Added detail showing wood base with flat stock trim.

**LONE OAK COMMUNITY CENTER**  
**ADDENDUM #2**  
**FEBRUARY 17, 2026**  
**PAGE 6**

SHEET A5.1A – delete sheet dated January 30, 2026 and replace with Sheet dated February 17, 2026.

Corrected sheet name.

Revised General Note to show LVP.

Revised General Note to Toilet Fixtures and Equipment to concrete curing.

Revised Legend to show LVP.

Added Room Finish Schedule.

Added correct Room Names and Numbers.

**ITEM 03 Electrical Sheets**

SHEET E-2 - delete sheet dated January 23, 2026 and replace with Sheet dated February 13, 2026.

SHEET E-3 - delete sheet dated January 23, 2026 and replace with Sheet dated February 13, 2026.

**END OF ADDENDUM NUMBER TWO**

**BID FORM**

**PROPOSAL OF:**

\_\_\_\_\_  
(Name of Bidder)

\_\_\_\_\_  
(Address of Bidder)

organized and existing under the laws of the State of \_\_\_\_\_ and doing business as a \_\_\_\_\_ (insert "a corporation", "a partnership" or "an individual" or otherwise as applicable).

**TO THE: MONTGOMERY COUNTY GOVERNMENT  
1 Millennium Plaza, Suite 205  
Clarksville, TN 37040**

In compliance with your Advertisement for Bids, Bidder hereby proposes to furnish all necessary labor, machinery, tools, apparatus, materials, equipment, services and other necessary supplies, in strict accordance with the terms and conditions of plans, specifications and Contract Documents within the number of consecutive calendar days and the prices set forth below for:

**Montgomery County Lone Oak Community Center**

By submitting this Bid, Bidder certifies that this Bid has been arrived independently, without consultation, communication or agreement as to any matter relating to this Bid with any other Bidder or with any other competitor.

The Bidder agrees, upon receipt of the Notice of Award accompanied by the Contract and Agreement (C & A) and all required attachments, to cause same to be properly executed and return to Montgomery County within ten (10) days thereafter. Bidder further agrees, upon receipt of the Notice To Proceed, to commence work on the project immediately thereafter and to complete the project within **180** consecutive calendar days after receipt of said Notice To Proceed.

The Bidder Agrees to furnish and construct all lump sum items of work shown on the Contract Documents for the amount of (show amount in both words and figures):

**BASE BID The Bidder agrees to construct all Work of this Project for the amount listed below, EXCLUDING the costs required for all ADD ALTERNATES to be bid as separate lump sum items. (further described below).**

\_\_\_\_\_ and \_\_\_\_\_/100 Dollar,

\$ \_\_\_\_\_.  
*Show dollar amount in both words and figures. In case of discrepancy, the amount in words shall govern.*

**Add Alternates**

**ADD ALTERNATE #1:** Alternate No.1 Includes an added cost amount for the excavation to expose the basement wall and foundation along the north and south walls of the building to apply waterproofing, protection board and a new foundation drainpipe, which will be daylighted into the existing ditch behind the building. Existing utilities will need to be located, marked, disconnected, removed to a safe distance as needed to protect them during the excavation. The existing HVAC units and their respective concrete mounting pads, along the north and south walls of the building, will need to be removed for the excavation to begin. The openings into the building from the ductwork will need to be sealed off and protected for the duration of the project. These units will be stored for reinstallation once the excavation is complete. The mounting pads will need to be replaced with new concrete pads, and all units will

need to be verified that they are correctly installed and working correctly upon reinstallation. The existing ADA accessible ramp at the front of the building will be removed to allow for the excavation at the front corner of the building. This ramp will need to be replaced with a new accessible one, also the metal stairs on the north and south walls of the building will be removed and stored to be reinstalled after the excavation is complete.

A new ADA accessible ramp/sidewalk will be installed on the north side of the building starting at the parking lot and ending at the rear of the building allowing access to the lower-level entrances. Two (2) HVAC units at the lower level will be removed and stored for reinstallation, a metal storage building will be removed and disposed of. The existing paved area along the rear of the building will be removed and a new concrete slab will be poured across the rear of the building. See plans for full scope of work in this Alternate.

Additional civil work will be included in this Alternate, see the Civil drawings for this scope.

\_\_\_\_\_ and \_\_\_\_\_/100 Dollar,

\$ \_\_\_\_\_.

*Show dollar amount in both words and figures. In case of discrepancy, the amount in words shall govern.*

**ADD ALTERNATE #2:** The scope of this alternate includes installing new suspended ceiling grid and acoustical ceiling tiles, to match the existing, in the multipurpose rooms and main corridor.

The ceiling fan in the new warming kitchen will be removed. All lights in this level will be removed, converted to LED fixtures and reinstalled. The warming-kitchen will have new PLAM countertops installed as shown on the plans. An ice machine, one (1) refrigerator, one (1) sink, a stove with an overhead vent that contains an Ansul firefighting system and multiple countertop height electrical outlets will also be part of the work in this new room.

The entire floor will have new LVP flooring installed. The existing floor shall have all damaged areas repaired. The entire level will also receive new paint throughout. The paint colors will be chosen later from the manufacturer's full selection.

The existing restrooms will be demolished and two new ones that meet ADA accessibility requirements will be constructed in their place. This also includes the demolition of part of the concrete floor for new plumbing to be run from the warming kitchen and the new janitor closet that will tie into the new plumbing in the restrooms and then connect to the existing sewer line. The floor will be repaired with a new concrete slab being poured where the original was removed.

This summary of work does not entail all the work to be done in this Add Alternate. To see all the work that will be included see the plans for the scope of work.

\_\_\_\_\_ and \_\_\_\_\_/100 Dollar,

\$ \_\_\_\_\_.

*Show dollar amount in both words and figures. In case of discrepancy, the amount in words shall govern.*

**ADD ALTERNATE #3:** The scope of this alternate is the painting of the exterior of the building. This includes the brick siding, window and building trim, door frames, stairs and doors on the north, south and rear of the building. The new front entrance doors is to be painted as part of the base bid (not this alternate). Also, all damaged fascia boards will need to be replaced. Gutters and downspouts to be (removed if needed and reinstalled) cleaned and adjusted to provide positive flow to downspouts.

Paint colors to be determined by Owner from manufacturers full selection. See plans for full scope of work in this Alternate

\_\_\_\_\_ and \_\_\_\_\_/100 Dollar,

\$ \_\_\_\_\_.

*Show dollar amount in both words and figures. In case of discrepancy, the amount in words shall govern.*

**TOTAL BID: The Bidder agrees to construct the Work of this Project, including BASE BID A & BASE BID B for the lump sum of:**

\_\_\_\_\_ and \_\_\_\_\_/100 Dollar,

\$ \_\_\_\_\_.

*Show dollar amount in both words and figures. In case of discrepancy, the amount in words shall govern.*

**Terms of Bid**

1. In submitting this bid, it is understood that the right is reserved by the Montgomery County Government to reject any and all bids. If written notice of the acceptance of this bid is mailed, telegraphed, or delivered to the undersigned within ten (10) days after the opening thereof, or at any time thereafter before this bid is withdrawn, the undersigned agrees to execute and deliver a contract in the prescribed form and furnish the required bond within ten (10) days after the contract is presented to him for signature.
2. Security in the sum of five percent (\$ \_\_\_\_\_), in the form of \_\_\_\_\_ is submitted herewith in accordance with the Specifications.
3. By signing and submitting this bid, the Contractor recognizes the requirement for 5% retainage of payment (General Conditions) and provisions of the statute T.C.A. 66-11-144, of the State of Tennessee.
4. Attached hereto is an affidavit in proof that the undersigned has not entered into any collusion with any person in respect to this proposal or any other proposal or the submitting of proposals for the Contract for which this proposal is submitted.
5. Amounts are to be shown in both words and figures. In case of discrepancy, the amount shown in words will govern.
6. For Federally funded projects (which will be clearly identified herein if such funds apply to this project), the Bidder represents that he/she is in compliance with the equal opportunity clause prescribed by Executive Orders 10925, 11114, or 11246 and that he/she has filed all required compliance reports with the Secretary of Labor. (The above representation need not be submitted in connection with contracts or subcontracts which are exempt from the clause).
7. The Bidder acknowledges that they have received the following Addendum. The modifications to the Bid Documents noted therein have been considered and all costs thereto are included in the Bid.
  - A. Addendum Number \_\_\_\_\_ dated \_\_\_\_\_.
  - B. Addendum Number \_\_\_\_\_ dated \_\_\_\_\_.
  - C. Addendum Number \_\_\_\_\_ dated \_\_\_\_\_.
  - D. Addendum Number \_\_\_\_\_ dated \_\_\_\_\_.
8. In submitting this bid, the Bidder agrees to hold open his Bid for 60 days from the date of the bid opening and further agrees to enter into and execute a Contract, if awarded, on the basis of this bid.
9. The Bidder agrees to guarantee the work completed for a period of one (1) year for the date of final acceptance except where a longer period is specifically indicated.
10. The Bidder acknowledges that he has visited and examined the site of the proposed construction and has received and examined documents for the Construction of subject project, including the Drawings, Project Manual and other documents and has included their provisions in his Bid.

11. The Bidder agrees to provide, prior to the contract signing, the following completed forms: Prime Contractor Affidavit of Non-Collusion, Drug Free Workplace Affidavit, General Indemnity Form, Title VI Contract Assurance Form, Iran Divestment Act Certification of Non-inclusion Form, Non-Boycott of Israel Act Form, and Montgomery County Contractor Safety Program Form.
12. The Bidder agrees to provide a list of major subcontractors within twenty-four (24) hours after the bid opening time.
13. The Bidder agrees to provide a list of major material manufacturers within twenty-four (24) hours after the bid opening time.
14. The Bidder agrees to provide a statement of qualifications if requested by the Owner or Architect.
15. The Bidder agrees that this project will require separated segments into a single pay application for any add alternates that are approved. All line items of work associated with the BASE BID shall be separated into a Pay Application and a Schedule of Values that is separate from all of the ADD ALTERNATES.
16. The Bidder agrees that the Project Manager and Superintendent assigned to this project shall remain on this project throughout the extent of the project barring injury, employment change, or other unforeseen issues, and shall sign a Memo of Agreement with the Owner stating this prior to the contract signing.
18. It is the Bidder's responsibility to contact local and state governments and utility companies to ascertain the required fees and permits. All fees and permits that are not specifically listed as direct payments by the owner are to be paid by the Contractor as a part of this bid.

**NOTE: The penalty for making false statement in offers is prescribed in 18 U.S.C. 1001.**

**DATE:** \_\_\_\_\_

\_\_\_\_\_  
(NAME OF BIDDER)

**TELEPHONE NUMBER:** \_\_\_\_\_

**OFFICIAL ADDRESS:** \_\_\_\_\_

**BY:** \_\_\_\_\_ (SIGNED)

\_\_\_\_\_ (PRINT)

**TITLE:** \_\_\_\_\_

**CONTRACTOR'S LICENSE NUMBER:** \_\_\_\_\_ **EXPIRATION DATE:** \_\_\_\_\_

## SECTION 01 23 00 - ALTERNATES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

#### 1.2 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
  - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum. Bidder shall indicate clearly on his Bid Form whether the proposed Alternate is an "ADD" or "DEDUCT" sum.

#### 1.3 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
  - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

### PART 2 - PRODUCTS (Not Used)

### PART 3 – EXECUTION

### 3.1 SCHEDULE OF ALTERNATES

#### Add Alternate No. 1

Alternate No.1 Includes an added cost amount for the excavation to expose the basement wall and foundation along the north and south walls of the building to apply waterproofing, protection board and a new foundation drainpipe, which will be daylighted into the existing ditch behind the building. Existing utilities will need to be located, marked, disconnected, removed to a safe distance as needed to protect them during the excavation. The existing HVAC units and their respective concrete mounting pads, along the north and south walls of the building, will need to be removed for the excavation to begin. The openings into the building from the ductwork will need to be sealed off and protected for the duration of the project. These units will be stored for reinstallation once the excavation is complete. The mounting pads will need to be replaced with new concrete pads, and all units will need to be verified that they are correctly installed and working correctly upon reinstallation. The existing ADA accessible ramp at the front of the building will be removed to allow for the excavation at the front corner of the building. This ramp will need to be replaced with a new accessible one, also the metal stairs on the north and south walls of the building will be removed and stored to be reinstalled after the excavation is complete.

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Additional civil work will be included in this Alternate, see the Civil drawings for this scope.

#### Add Alternate No. 2

The scope of this alternate includes installing new suspended ceiling grid and acoustical ceiling tiles, to match the existing, in the multipurpose rooms and main corridor.

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This summary of work does not entail all the work to be done in this Add Alternate. To see all the work that will be included see the plans for the scope of work.

#### Add Alternate No. 3

The scope of this alternate is the painting of the exterior of the building. This includes the brick siding, window and building trim, door frames, stairs and doors on the north, south and rear of the building. The new front entrance doors are to be painted as part of the base bid (not this alternate). Also, all damaged

fascia boards will need to be replaced. Gutters and downspouts to be (removed if needed and reinstalled) cleaned and adjusted to provide positive flow to downspouts.  
Paint colors to be determined by Owner from manufacturers full selection.

END OF SECTION 01 23 00

# MCCO

## MONTGOMERY COUNTY TENNESSEE



### LONE OAK COMMUNITY CENTER

4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE 37052

COUNTY MAYOR: WES GOLDEN  
MONTGOMERY COUNTY PARKS & RECREATION DIRECTOR: SALLY READ  
CHIEF COUNTY ENGINEER: NICHOLAS POWELL, P.E.

#### COUNTY COMMISSIONERS

JOHN GANNON  
JASON KNIGHT  
JOE SMITH  
RICKEY RAY  
RASHIDAH LEVERETT  
MICHAEL LINKFORD  
NATHAN BURKHOLDER

TANGI SMITH  
JORGE PADRO  
JEREMIAH WALKER  
JOE CREEK  
CARMELLE CHANDLER  
WALKER WOODRUFF  
JOSHUA BEAL

DAVID HARPER  
LISA PRICHARD  
CHRIS RASNIC  
RYAN GALLANT  
BILLY FRYE  
AUTUMN SIMMONS  
DAVID SHELTON

#### Index

- G0.0 COVER SHEET
- G0.1 PROJECT INFORMATION
- G0.1A ADD ALTERNATE #2: PROJECT INFORMATION
- G0.2 LIFE SAFETY PLAN
- G0.2A ADD ALTERNATE #2: LIFE SAFETY PLAN
- G0.3 ACCESSIBILITY STANDARDS
- G0.3A ADD ALTERNATE #2: ACCESSIBILITY STANDARDS
- G1.1 OUTLINE SPECIFICATIONS
- G1.1A ADD ALTERNATE #1: OUTLINE SPECIFICATIONS
- G1.1B ADD ALTERNATE #2: OUTLINE SPECIFICATIONS
- G1.2 OUTLINE SPECIFICATIONS
- G1.2A ADD ALTERNATE #2: OUTLINE SPECIFICATIONS
- C1.0 FRENCH DRAIN LAYOUT
- C2.0 CONCRETE SITE PLAN LAYOUT
- C2.1 CONCRETE JOINTING PLAN
- C2.2 GRADING PLAN
- C3.0 DETAILS
- C3.1 SIDEWALK TURNDOWN AND RAILING DETAILS
- C3.2 GUARDRAIL 1A
- C3.3 GUARDRAIL 1B
- C3.4 GUARDRAIL 2A
- C3.5 GUARDRAIL 2B
- A0.1 DOORS, WINDOWS AND WALL TYPE DETAILS
- A0.2 HEAD, JAMB AND SILL DETAILS
- EX.1 EXISTING FLOOR PLAN
- EX.1A EXISTING LOWER LEVEL FLOOR PLAN
- EX.2 EXISTING REFLECTED CEILING PLAN
- EX.2A EXISTING LOWER LEVEL REFLECTED CEILING PLAN
- D.1 SITE DEMOLITION PLAN
- D1.1 DEMOLITION FLOOR PLAN
- D1.1A LOWER LEVEL DEMOLITION PLAN
- D1.2 REFLECTED CEILING DEMOLITION PLAN
- D1.2A LOWER LEVEL REFLECTED CEILING DEMOLITION PLAN
- A1.1 NEW CONSTRUCTION PLAN
- A1.1A LOWER LEVEL NEW CONSTRUCTION PLAN
- A1.2 REFLECTED CEILING NEW CONSTRUCTION PLAN
- A1.2A LOWER LEVEL REFLECTED CEILING NEW CONSTRUCTION PLAN
- A2.1 ENLARGED FLOOR PLANS AND ELEVATIONS
- A2.1A ADD ALTERNATE #2: LOWER LEVEL ENLARGED FLOOR PLANS AND ELEVATIONS
- A2.2 SECTIONS AND DETAILS
- A2.2A SECTIONS AND DETAILS - DELETED
- A2.3 SECTIONS AND DETAILS
- A2.3A ADD ALTERNATE #2: LOWER LEVEL ENLARGED PLANS, ELEVATIONS & DETAILS
- A5.1 FINISH FLOOR PLAN
- A5.1A LOWER LEVEL FINISH FLOOR PLAN
- A6.1 MAIN HALL PERSPECTIVE
- E-1 NOTES, SCHEDULES AND DETAILS
- E-1A NOTES, SCHEDULES AND DETAILS
- E-2 FACILITY LIGHTING PLAN
- E-2A LOWER LEVEL LIGHTING PLAN
- E-3 FACILITY POWER PLAN
- E-3A LOWER LEVEL POWER PLAN
- E-4 ONE-LINE RISER DIAGRAM
- M0.1 HVAC SCHEDULES AND NOTES
- M0.1A LOWER LEVEL HVAC SCHEDULES AND NOTES
- M0.2 KITCHEN HOOD DETAILS
- M0.2A LOWER LEVEL KITCHEN HOOD DETAILS
- M1.1 HVAC PLAN
- M1.1A LOWER LEVEL HVAC PLAN
- P0.1 PLUMBING SCHEDULES AND NOTES
- P0.1A LOWER LEVEL PLUMBING SCHEDULES AND NOTES
- P1.1 DRAIN / VENT PLAN
- P1.1A LOWER LEVEL DRAIN / VENT PLAN
- P2.1 DOMESTIC WATER PLAN
- P2.1A LOWER LEVEL DOMESTIC WATER PLAN
- T0.1 CAMERAS - TECHNOLOGY



1/30/26

COVER SHEET

LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

#### Project Team

**OWNER:**  
Montgomery County Government  
1 Millennium Plaza, Suite 205  
Clarksville, Tennessee 37040  
Tel: 931.648.5787  
County Mayor: Mayor Wes Golden  
Project Manager: Sally Read

**CIVIL:**  
Hunter L. Staggs, P.E.  
1 Millennium Plaza, Suite 401  
Clarksville, Tennessee 37040  
Tel: 931.553.5113  
Engineer of Record: Hunter L. Staggs, P.E.  
Project Manager: Hunter L. Staggs, P.E.

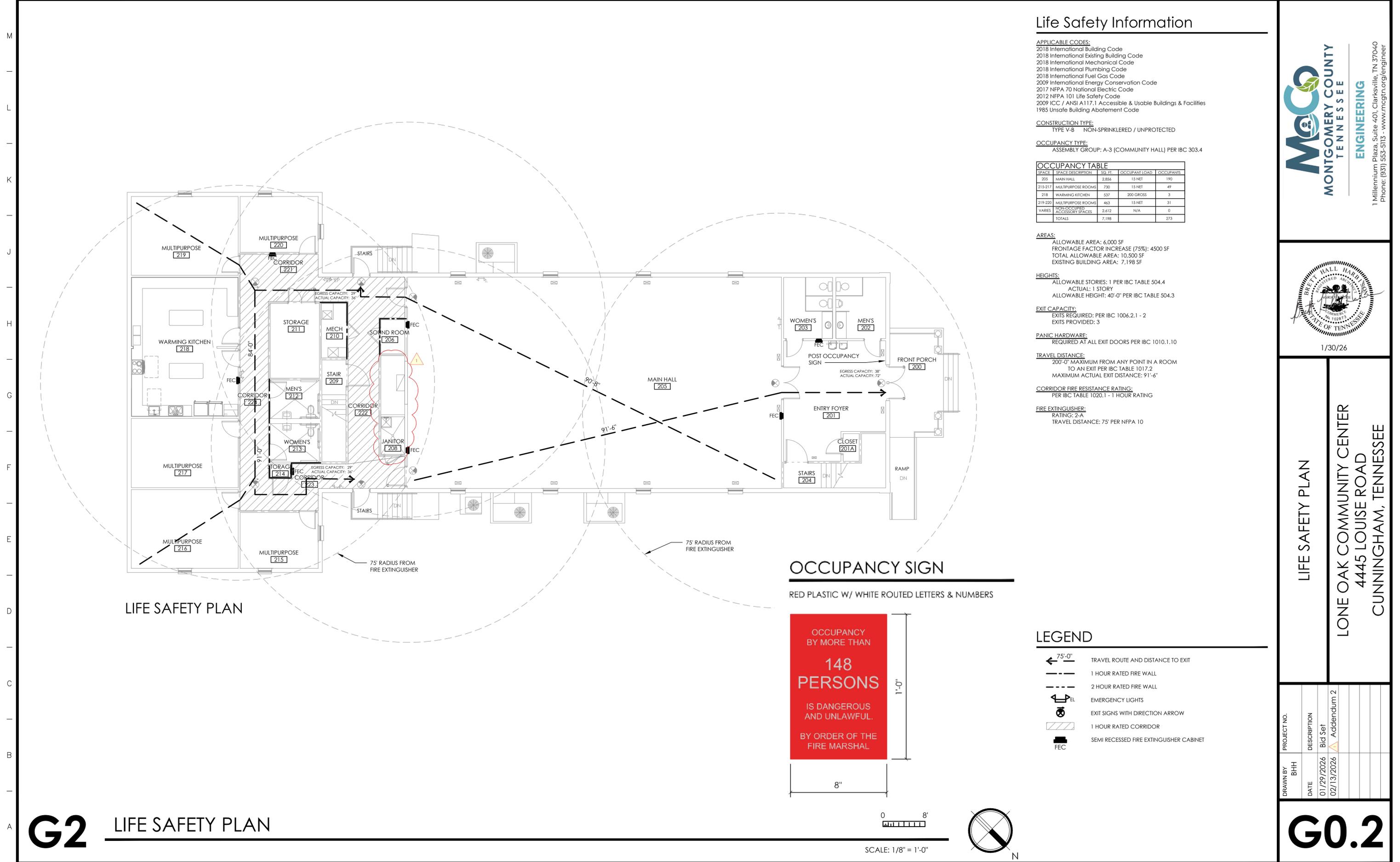
**ARCHITECT:**  
Brett H. Harbison, R.A.  
1 Millenium Plaza, Suite 401  
Clarksville, Tennessee 37040  
Tel: 931.553.5113  
Architect of Record: Brett H. Harbison, R.A.  
Project Manager: Brett H. Harbison, R.A.

**MECHANICAL/PLUMBING/ELECTRICAL:**  
JM2 Associates, PLLC  
98D North Star Drive  
Jackson, Tennessee 38305  
Tel: 731.736.4441  
Engineer of Record:  
Project Manager: Brian Dougan, P.E.

PROJECT NO.	DESCRIPTION	DATE
	Bid Set	01/29/2026
	Addendum 2	02/13/2026

# GO.0





### Life Safety Information

**APPLICABLE CODES:**  
 2018 International Building Code  
 2018 International Existing Building Code  
 2018 International Mechanical Code  
 2018 International Plumbing Code  
 2018 International Fuel Gas Code  
 2009 International Energy Conservation Code  
 2017 NFPA 70 National Electric Code  
 2012 NFPA 101 Life Safety Code  
 2009 ICC / ANSI A117.1 Accessible & Usable Buildings & Facilities  
 1985 Unsafe Building Abatement Code

**CONSTRUCTION TYPE:**  
 TYPE V-B NON-SPRINKLERED / UNPROTECTED

**OCCUPANCY TYPE:**  
 ASSEMBLY GROUP: A-3 (COMMUNITY HALL) PER IBC 303.4

SPACE	SPACE DESCRIPTION	SQ. FT.	OCCUPANT LOAD	OCCUPANTS
205	MAIN HALL	2,856	15 NET	190
215-217	MULTIPURPOSE ROOMS	730	15 NET	49
218	WARMING KITCHEN	537	200 GROSS	3
219-220	MULTIPURPOSE ROOMS	463	15 NET	31
NON-OCCUPIED ACCESSORY SPACES		2,612	N/A	0
<b>TOTALS</b>		<b>7,198</b>		<b>273</b>

**AREAS:**  
 ALLOWABLE AREA: 6,000 SF  
 FRONTAGE FACTOR INCREASE (75%): 4500 SF  
 TOTAL ALLOWABLE AREA: 10,500 SF  
 EXISTING BUILDING AREA: 7,198 SF

**HEIGHTS:**  
 ALLOWABLE STORIES: 1 PER IBC TABLE 504.4  
 ACTUAL: 1 STORY  
 ALLOWABLE HEIGHT: 40'-0" PER IBC TABLE 504.3

**EXIT CAPACITY:**  
 EXITS REQUIRED: PER IBC 1006.2.1 - 2  
 EXITS PROVIDED: 3

**PANIC HARDWARE:**  
 REQUIRED AT ALL EXIT DOORS PER IBC 1010.1.10

**TRAVEL DISTANCE:**  
 200'-0" MAXIMUM FROM ANY POINT IN A ROOM TO AN EXIT PER IBC TABLE 1017.2  
 MAXIMUM ACTUAL EXIT DISTANCE: 91'-6"

**CORRIDOR FIRE RESISTANCE RATING:**  
 PER IBC TABLE 1020.1 - 1 HOUR RATING

**FIRE EXTINGUISHER:**  
 RATING: 2-A  
 TRAVEL DISTANCE: 75' PER NFPA 10



1/30/26

**LIFE SAFETY PLAN**  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE ROAD**  
**CUNNINGHAM, TENNESSEE**

PROJECT NO.	DESCRIPTION	DATE
	Bid Set	01/29/2026
	Addendum 2	02/13/2026

**G0.2**

### Project Information

**APPLICABLE CODES:**  
 2018 International Building Code  
 2018 International Existing Building Code  
 2018 International Mechanical Code  
 2018 International Plumbing Code  
 2018 International Fuel Gas Code  
 2009 International Energy Conservation Code  
 2017 NFPA 70 National Electric Code  
 2012 NFPA 101 Life Safety Code  
 2009 ICC / ANSI A117.1 Accessible Buildings & Facilities  
 1985 Unsafe Building Abatement Code

**CONSTRUCTION TYPE:**  
 TYPE V-B NON-SPRINKLERED / UNPROTECTED

**OCCUPANCY TYPE:**  
 ASSEMBLY GROUP: A-3 (COMMUNITY HALL) PER IBC 303.4

SPACE	SPACE DESCRIPTION	SQ. FT.	OCCUPANT LOAD	OCCUPANTS
100	LARGE ACTIVITY ROOM	2,496	15 NET	166
101	SMALL ACTIVITY ROOM	726	15 NET	48
102	WARMING KITCHEN	288	200 GROSS	1
103-110	MULTIPURPOSE ROOMS	1,920	15 NET	128
VARIES	NON-OCCUPIED ACCESSORY SPACES	1,178	N/A	0
TOTALS		6,608		343

**AREAS:**  
 ALLOWABLE AREA: 6,000 SF  
 FRONTAGE FACTOR INCREASE (75%): 4500 SF  
 TOTAL ALLOWABLE AREA: 10,500 SF  
 EXISTING BUILDING AREA: 7,120 SF

**HEIGHTS:**  
 ALLOWABLE STORIES: 1 PER IBC TABLE 504.4  
 ACTUAL: 1 STORY  
 ALLOWABLE HEIGHT: 40'-0" PER IBC TABLE 504.3

**EXIT CAPACITY:**  
 EXITS REQUIRED: PER IBC 1006.2.1 - 2  
 EXITS PROVIDED: 4

**PANIC HARDWARE:**  
 REQUIRED AT ALL EXIT DOORS PER IBC 1010.1.10

**TRAVEL DISTANCE:**  
 200'-0" MAXIMUM FROM ANY POINT IN A ROOM TO AN EXIT PER IBC TABLE 1017.2  
 MAXIMUM ACTUAL EXIT DISTANCE: 139'-9"

**CORRIDOR FIRE RESISTANCE RATING:**  
 PER IBC TABLE 1020.1 - 1 HOUR RATING

**FIRE EXTINGUISHER:**  
 RATING: 2-A  
 TRAVEL DISTANCE: 75' PER NFPA 10

**PLUMBING FIXTURE DATA:**  
 UPPER LEVEL:

WATER CLOSETS:			
WOMEN =	1/65	REQUIRED - 2	ACTUAL - 2
MEN =	1/125	REQUIRED - 1	ACTUAL - 1
URINALS:			
MEN =			ACTUAL - 1
LAVATORIES:			
WOMEN =	1/200	REQUIRED - 1	ACTUAL - 2
MEN =	1/200	REQUIRED - 1	ACTUAL - 2
DRINKING FOUNTAINS:			
TOTAL =	1/500	REQUIRED - 1	ACTUAL - 1
MOP SINK:			
TOTAL =	1	REQUIRED - 1	ACTUAL - 1
ICE MACHINE:			
TOTAL =	1	REQUIRED - 1	ACTUAL - 1
WASH SINK:			
TOTAL =	1	REQUIRED - 1	ACTUAL - 1



1/30/26

**ADD ALTERNATE #2: LIFE SAFETY PLAN**

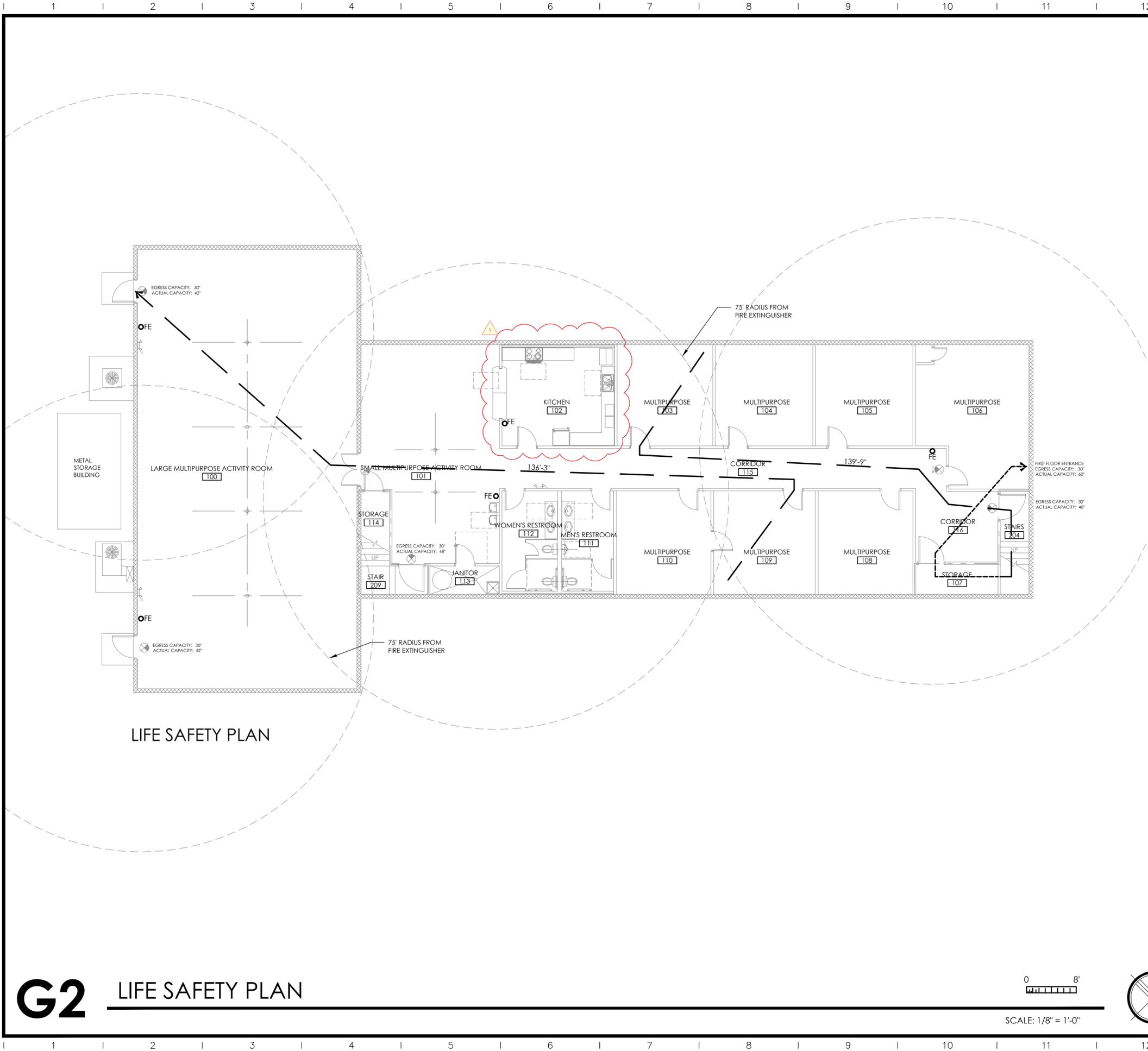
**LONE OAK COMMUNITY CENTER**  
 4445 LOUISE ROAD  
 CUNNINGHAM, TENNESSEE

### GENERAL NOTES

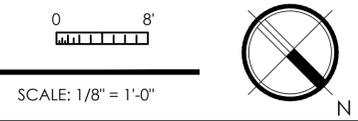
MAXIMUM OCCUPANCY IS BEING LIMITED TO 149 PEOPLE ON THIS LEVEL AT ALL TIMES.

### LEGEND

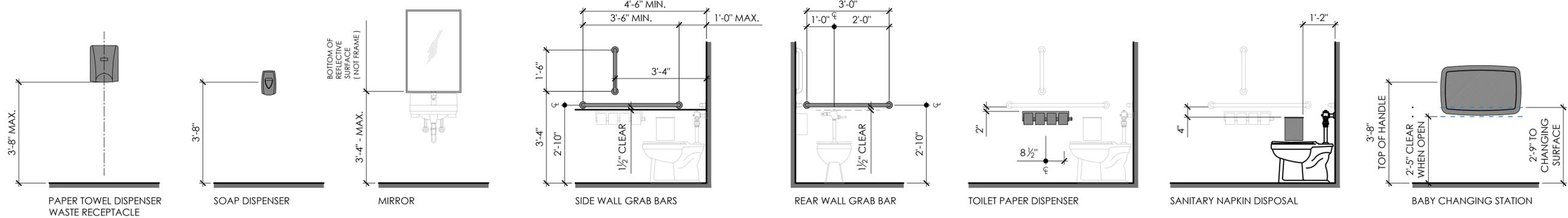
- 75'-0" TRAVEL ROUTE AND DISTANCE TO EXIT
- 2 HOUR RATED FIRE WALL
- EMERGENCY LIGHTS
- EXIT SIGNS WITH DIRECTION ARROW
- SURFACE MOUNTED FIRE EXTINGUISHER



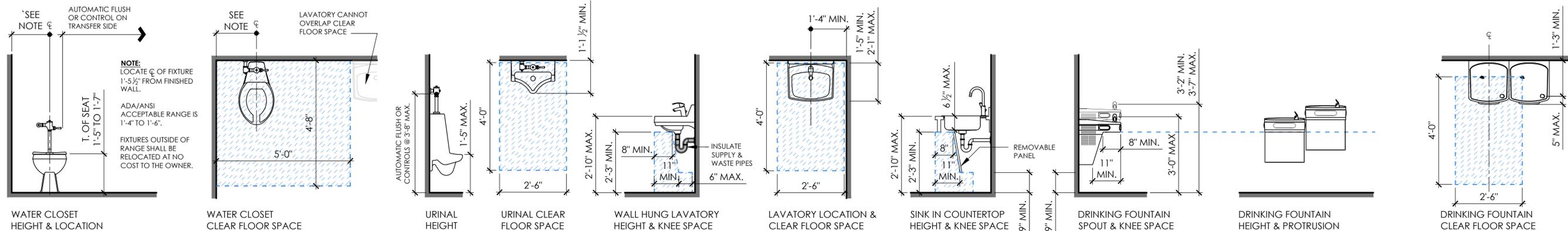
**G2 LIFE SAFETY PLAN**



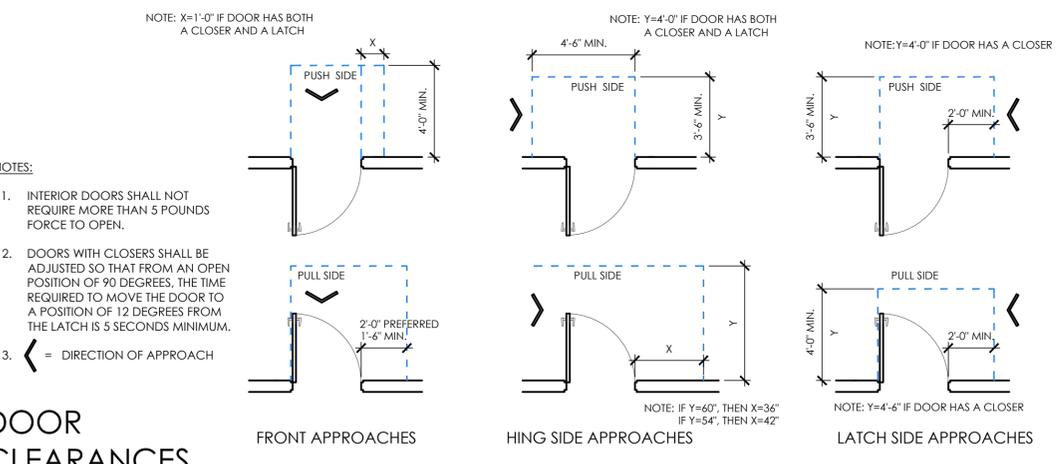
**G0.2A**



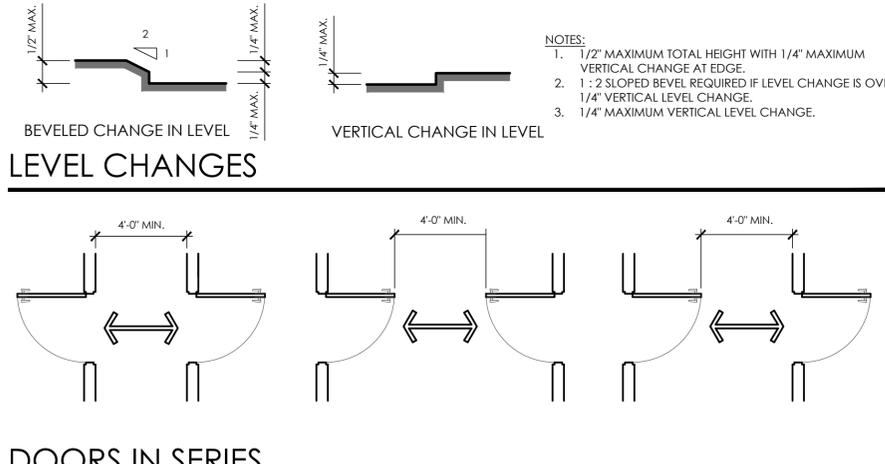
**TOILET ACCESSORY MOUNTING HEIGHTS**



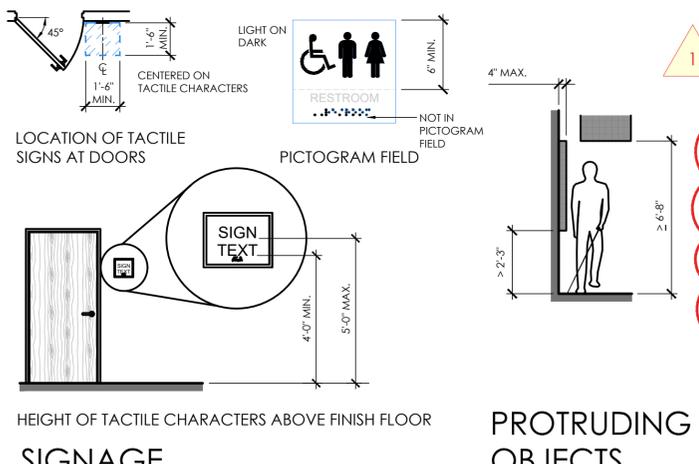
**PLUMBING FIXTURE MOUNTING HEIGHTS & CLEARANCES**



**DOOR CLEARANCES**

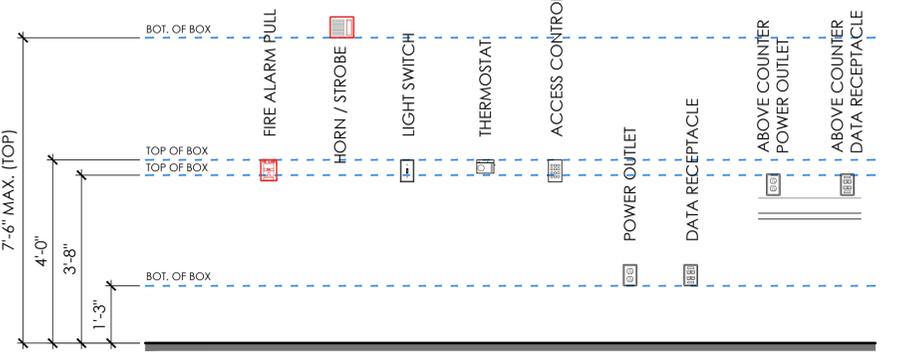


**DOORS IN SERIES**

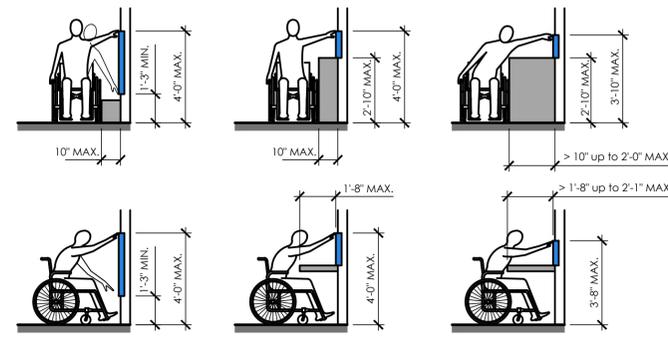


**SIGNAGE**

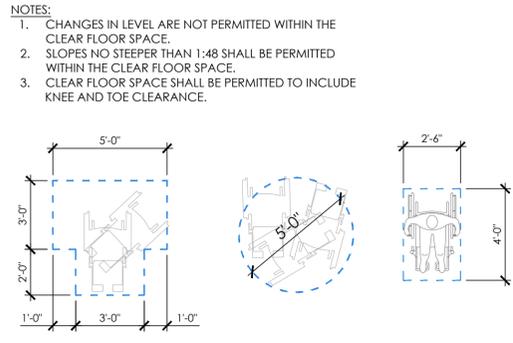
**PROTRUDING OBJECTS**



**ACCESSIBLE MOUNTING HEIGHTS**



**REACH RANGES**



**CLEAR FLOOR & TURNING SPACES**

**GENERAL ACCESSIBILITY NOTES**

- IF CONFLICTS ARE DISCOVERED BETWEEN THIS SHEET & INFORMATION SHOWN ON OTHER SHEETS, REQUIREMENTS OF THIS SHEET SHALL APPLY.
- DIMENSIONS ARE SHOWN TO FINISH FACE. CONTRACTOR SHALL ALLOW FOR THICKNESS OF FINISH MATERIALS DURING LAYOUT.
- DRAWING IS NOT TO SCALE. DO NOT SCALE DRAWING.
- STATED DIMENSIONS ALLOW FOR INDUSTRY ACCEPTED CONSTRUCTION TOLERANCES. DIMENSIONS SHOWN AS A RANGE DO NOT HAVE A TOLERANCE AND OBJECT MUST FALL WITHIN THE RANGE TO BE DEEMED ACCESSIBLE.
- COORDINATE ITEMS SHOWN ON THIS DRAWING WITH PLANS AND SPECIFICATIONS FOR ACTUAL ITEMS USED ON THIS PROJECT.
- EVERY ITEM SHOWN ON THIS DRAWING MAY NOT BE USED ON THIS PROJECT.

**MCO**  
MONTGOMERY COUNTY  
TENNESSEE  
ENGINEERING

1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
Phone: (931) 553-5113 - www.mcgrtn.org/engineer



1/30/26

**ADD ALTERNATE #2:  
ACCESSIBILITY STANDARDS**

**LONE OAK COMMUNITY CENTER**  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

PROJECT NO.	
DESCRIPTION	
DATE	01/29/2026
	02/13/2026
	Addendum 2

**G0.3A**

# OUTLINE SPECIFICATIONS

## DIVISION 01 - GENERAL REQUIREMENTS

Refer to Bid Manual

## DIVISION 02 - EXISTING CONDITIONS

### 02 00 00 - Protection of Existing Conditions

Contractor shall protect adjacent areas and other construction from damage. Provide temporary dust control barriers, dust covers and flooring protection and maintain as required to prevent damage to existing materials, furnishings and equipment.

Existing Utilities: Protect existing utilities from damage. If damaged, repair or replace to the owner's satisfaction.

### 02 41 00 - Controlled Demolition

Field Conditions: Conditions existing at time of inspection for bidding purpose will be maintained by Owner as far as practical. Notify Architect of discrepancies between existing conditions and Drawings before proceeding with selective demolition.

Hazardous Materials: It is not expected that hazardous materials will be encountered in the Work.

Materials Ownership: Unless otherwise indicated, demolition waste becomes property of Contractor.

Existing Services/Systems to Remain: Maintain services/systems indicated to remain and protect them against damage.

Existing Services/Systems to Be Removed, Relocated, or Abandoned: Refer to Mechanical, Plumbing, Fire Protection and Electrical Drawings for respective demolition instructions.

Equipment to Be Removed and Reinstalled: Disconnect and cap services and remove, clean, and store equipment; when appropriate, reinstall, reconnect, and make equipment operational.

Controlled Demolition General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations and as follows:

Proceed with selective demolition systematically, from higher to lower level. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.

Removed and Salvaged Items: Clean salvaged items. Reinstall items in locations indicated. Comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated.

Existing Items to Remain: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by Architect, items may be removed to a suitable, protected storage location during selective demolition and cleaned and reinstalled in their original locations after selective demolition operations are complete.

Disposal of Demolished Materials General: Except for items or materials indicated to be reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them in an EPA-approved landfill.

Dispose of demolished items and materials promptly.

Do not allow demolished materials to accumulate on-site. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.

## DIVISION 03 - CONCRETE

### 03 30 00 - Cast in place

Cast in place concrete: use cementitious materials of the same type, brand and source throughout the project.

Normal weight aggregates: ASTM C33 graded. Fine aggregate: free of materials with deleterious reactivity to alkali in cement. Water: ASTM C94 / C94M and potable.

Minimum compressive strength: 3000 PSI

Finish: Trowel

Subbase: 4" minimum crushed stone, compacted.

## DIVISION 06 - WOOD, PLASTICS and COMPOSITES

### 06 10 00 - Rough Carpentry

Provide dimension lumber of grades indicated according to the American Lumber Standards Committee National Grading Rule provisions of the grading agency indicated.

Structural & Light Framing: Lintel framing members shall be No. 2 Grade Southern Pine with 19% maximum moisture content.

No. 2 Spruce-Pine-Fir (SPF) studs may be used at bearing wall framing, unless noted otherwise.

Stud Grade Spruce Pine Fir (SPF) studs may be used at interior

non-bearing walls. Unbraced height of interior non-bearing 2x4 stud walls shall not exceed 12'-0".

Sheathing: APA rated sheathing. Nail to framing. Comply with PS-1 and APA E445.

Preventive Treatment: Treat wood in contact with masonry or concrete. Pressure treat lumber and plywood with water-borne preservative to comply with AWPA C2 and C9. Above Ground Use: AWPA LP-2.

Fasteners and Anchors: Devices of type, size, material, and finish suitable for intended use. For exterior use, hot dip galvanized fasteners to comply with ASTM A 153.

Backing Panels: 3/4" thick Plywood APA INT C-C Plugged Fire Retardant Treated.

Fire-retardant treated lumber or plywood: AWPA standards for pressure impregnation with fire-retardant chemicals to achieve flame spread rating of not more than 25; UL Test 723, ASTM E84 or NFPA Test 355.

Air Infiltration Barrier: Tyvek Commercialwrap as manufactured by Dupont Company, Wilmington, DE or equal; spunbonded olefin, nonwoven, non-perforated astm e 1677. Accessories: Provide Seam Tape - 3 inch wide, tape for commercial applications.

### 06 20 00 - Finish Carpentry

Wood Trim:

Columns:

### 06 40 00 - Architectural Cabinetry

Comply with AIA's "Architectural Woodwork Quality Standards" for Custom Grade, Flush Overlay plastic laminate countertops. Submittals: Manufacturer's Information and Shop Drawings showing location of each item, dimensioned plans and elevations, large scale details, attachment devices and other components. Submit plastic laminate manufacturer's full range of samples for selection by the Owner.

Plastic Laminate: Type 350 HGP and Type 335 VGP

Basis of Design:

Tops & Accents - Color 1: To be selected from manufacturer's full range.

Faces Color 2: To be selected from manufacturer's full range.

Low Pressure Laminate for concealed areas: Fabricator's Standard. Color: Almond.

## DIVISION 07 - THERMAL & MOISTURE PROTECTION

### 07 21 00 - Insulation

Unfaced Acoustical Insulation: Stone wool insulation for use in interior partitions to comply with ASTM C 665. Surface Burning Characteristics: Maximum flame spread and smoke developed values of 0 and 0, respectively. Thickness: 3 inches. Basis of Design: Safe'n'Sound manufactured by Rockwool or Equal.

Mineral Fiber Insulation: manufactured by Rockwool or Equal.

Available Manufacturers: Subject to compliance with requirements, manufacturers offering Panel Systems which may be incorporated in the work include but are not limited to:

PAC-CLAD Peterson, Elk Grove Village, IL  
MBCL, Houston, TX  
AEP Span, Tacoma, WA

### 07 92 00 - Joint Sealants

Latex Joint Sealant: Non-sag, gun-grade one part non-priming, siliconized, acrylic-emulsion sealant complying with ASTM C 834, Type OP, Grade NF formulated to be paintable and recommended for exposed applications on interior locations involving joint movement of not more than plus or minus 5 percent. Submittals: Manufacturer's Information. Basis of Design: MasterSeal NP 520 by BASF Construction Systems. Color: White

Polyurethane Joint Sealant: Non-sag, gun-grade one part sealant, ASTM C 920 Type S, Grade NS, Class 25; Use NT, low modulus urethane, 20 year life expectancy. Submittals: Manufacturer's Information and Color Sample Range. Basis of Design: MasterSeal NP1 by BASF Construction Systems. Colors: As selected by Architect from manufacturer's full range of standard colors to match adjoining colors.

Plumbing Fixture Joint Sealant: One-part, mildew resistant, fungicide containing, acetoxycure silicone sealant complying with ASTM C 920 Type S, Grade NS, Class 25; Uses NT, G, A, and as applicable to nonporous joint substrates indicated. O. formulated with fungicide; intended for sealing interior joints with nonporous substrates and subject to in-service exposure to conditions of high humidity and temperature extremes. Basis of Design: SCS 1700 by General Electric

Co. Color: Translucent.

## DIVISION 08 - OPENINGS

### 08 11 00 - Steel Doors & Frames

Submittals: Shop Drawings and Manufacturer's Information.

Quality Standard: ANSI A250.8 and complying with Steel Door Institute "Recommended Specifications: Standard Steel Doors and Frames" SDI-100. Smoke-Control Door Assemblies: Comply with UL 1784.

Hollow Metal Frames: Provide factory prime coated steel frames. Frames shall be 16 ga. cold rolled steel, knocked-down or mitered and welded. Provide min. 3 anchors per jamb as required by metal stud-wall conditions on interior. Provide black resilient mutes where wood doors are scheduled.

Exterior Frames - Basis of Design: Steelcraft MU Series. Equal products from Curries, Republic or Ceco are acceptable.

Interior Frames - Basis of Design: Steelcraft DW Series. Equal products from Curries, Republic or Ceco are acceptable.

Hollow Metal Doors: Provide doors of design indicated, not less than thickness indicated; fabricated with smooth surfaces, without visible joints or seams on exposed faces unless otherwise indicated. Comply with ANSI/SDI A250.8.

Flush panel with manufacturer's standard insulated polystyrene, polyurethane or polyisocyanurate core.

Thermal-Rated (Insulated) Doors: Where indicated, provide doors fabricated with thermal-resistance value (R-value) of not less than 4.0 deg F x h x sq. ft./Btu when tested according to ASTM C 1363.

Tolerances: Comply with SDI 117, "Manufacturing Tolerances for Standard Steel Doors and Frames."

Exterior Doors: Face sheets fabricated from metallic-coated steel sheet. Provide doors complying with requirements indicated below by referencing ANSI/SDI A250.8 for level and model and ANSI/SDI A250.4 for physical performance level:

### 08 71 00 - Finish Hardware

Finish Hardware: Provide door hardware for complete installation. Coordinate with doors and frames and provide templates as required.

Single Source Responsibility: Obtain each type of hardware (latch and locksets, hinges, closers, etc.) from a single manufacturer.

Supplier Qualifications: A recognized architectural door hardware supplier, with warehousing facilities in the Project's vicinity, that has a record of successful in-service performance for supplying door hardware similar in quantity, type, and quality to that indicated for this Project and that employs an experienced Architectural Hardware Consultant (AHC) who is available for consultation to Owner, Architect, and Contractor, at reasonable times during the course of the Work.

Hardware supplier shall coordinate lock function and submit a complete hardware schedule and manufacturer's product data for review by Architect.

Finish: Hardware finish shall be US26D or equivalent finish for material used.

Cores: Best "CORMAX" small format interchangeable cores (SFIC) keyed to Owner's Existing system.

Door Adjustment: Approximately 90 days after Substantial Completion, test each Entrance and Door Assembly for proper operation. Adjust each item of Finish Hardware as required to assure security, eliminate loose or missing parts and minimize wear and tear. Repair/replace defective Hardware.

Basis of Design:

Hinges:	Stanley
Lock Sets:	Best - No Substitutions
Exit Devices:	Precision
Closers:	Stanley
Door Trim:	Hager
Power Supply:	Precision / Securiton
Electric Strike:	HES - Assa Abloy
Powered Door Openers:	Stanley- No Substitutions

Hardware Schedule

HARDWARE SET 01:

HARDWARE SET 02:

HARDWARE SET 03:

HARDWARE SET 04:

HARDWARE SET 05:

HARDWARE SET 06:

## DIVISION 09 - FINISHES

### 09 25 00 - Gypsum Board Assemblies

Non-Structural Wood Framing: Studs: gauge & depth as indicated on drawings. Runners: Match stud material.

Gypsum Wallboard: Basis of Design: Regular gypsum core by National Gypsum. Thickness to match existing. Equivalent Products from other manufacturers are acceptable.

Submittals: Manufacturer's Information.

Gypsum wallboard shall be thickness as indicated on drawings. Install using self-tapping screws. Joints shall be taped and finished for smooth appearance. Accessories: Provide manufacturer's standard trim accessories of types indicated for drywall work, formed of galvanized steel, with either knurled and perforated or expanded flanges for nailing or stapling, and beaded for concealment of flanges in joint compound. Provide corner beads, L-type edge trim-beads, U-type edge trim-beads, cove type trim-beads, and one-piece control joint beads. Exposed drywall trim is not acceptable. Adhesive: ASTM C557 with Manufacturer's recommended mechanical fastener. Joint Tape: ProForm fiberglass joint tape. Joint Compound: ProForm XP with Dust-Tech, ready mixed.

Gypsum Board Application and Finishing Standard: Install and finish gypsum board to comply with ASTM C 840 - Level 4.

Installation: Minimize end joints and avoid end joints in central ceiling areas. Install wallboard with tapered edges vertically on walls, offset joints on opposite sides of studs. Install compound in three (3) coats, sand after last two (2) coats.

### 09 65 00 - Resilient Flooring

Luxury Vinyl Plank (LVP): Provide flooring consisting of a tough, clear, vinyl wear layer protecting a print layer on a solid vinyl backing protected by a embossed UV-cured finish.

Submittals: Manufacturer's Information & Samples

Acceptable Manufacturers: Patcraft, Karndean Designflooring, Armstrong or Approved Equal.

Basis of Design: Opus Range Planks by Karndean Designflooring.

Color: Selected from Manufacture's full range based on sample review.

Dimensions: 48 inches by 9 inches (1219 mm by 228 mm), 36 inches by 6 inches (915 mm by 152 mm) or 36 inches by 4 inches (915 mm by 102 mm) depending on selection.

Thickness: 3/32 inches (2.5 mm).

Wear Layer: 20 mil (0.5 mm).

Warranty: 15 year Commercial Minimum

Installation: Glue Down

Classification - ASTM F 1700: Class 3 Type B.  
Radiant Flux - ASTM E 648: Class 1.  
Smoke Density - ASTM E 662: <450  
Static Load - ASTM F970: 2,000 PSI Minimum  
Castor Chair Continuous Use: ASTM D 3884: Pass

Inspect floor to be installed immediately upon arriving at job site; perform a moisture test. Clean surfaces thoroughly prior to installation. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions. Position planks so the end seams are no closer than the width of the plank being installed. Maintain this approach to staggering the planks throughout the entire installation while keeping a random

appearance. Center planks in rooms and hallways so borders are not

less than half a plank when possible. Cut edges shall always be installed against a wall. Install using plank installation techniques recommended by manufacturer. Install in accordance with adhesive recommendations on the label or data sheet. Refer to manufacturer's literature for selection criteria for applicator, type. Using proper applicator, apply adhesive in accordance with label on adhesive.

Resilient Base: 4" vinyl cove base with job formed corners.

Basis of Design: Johnsonite or Equal

Color: Selected by Architect.

### 09 67 00 - Fluid Applied Floor Coating

Fluid Applied Flooring: High-solids, heavy-duty, two-component, catalyzed, polyamide epoxy coating. Includes surface preparation and application of coating on substrates.

Basis of Design: ArmorSeal 1000HS by Sherwin Williams Company. Pre-Approved equivalent products from other manufacturers are acceptable.

Submittals: Manufacturer's Product Information.

Do not begin application of floor coating until substrates have been properly examined and prepared. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding. Proceed with work only after conditions have been corrected, and approved by all parties, otherwise application of floor coating will be considered as an acceptance of surface conditions.

Coating Schedule:



1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
Phone: (931) 553-5113 - www.mcotn.org/engineer



1/30/26

ADD ALTERNATE #2:  
OUTLINE SPECIFICATIONS

LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
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PROJECT NO.	DESCRIPTION
	Bid Set
	Addendum 2

**G1.1B**

# OUTLINE SPECIFICATIONS

## DIVISION 09 - FINISHES - CONTINUED

### 09 91 00 - Painting

Field Painting: Includes surface preparation and application of paint systems on substrates.

Submittals: Manufacturer's Product Information.

Certification: Interior paints shall be GreenGuard Indoor Air Quality Certified by the GreenGuard Environmental Institute under GreenGuard Standard for low emitting products.

Basis of Design: Products of Sherwin Williams Company. Equal products from Porter, Benjamin Moore, Farrell - Calhoun or PPG are acceptable.

Apply in strict accordance with manufacturer's written instructions. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and/or refinishing.

Do not begin paint application until substrates have been properly examined and prepared. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding. Proceed with work only after conditions have been corrected, and approved by all parties, otherwise paint application will be considered as an acceptance of surface conditions.

Extra Materials: Provide paint from the same product run, that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.  
Quantity: 5 percent, but not less than 1 gal. of each material and color applied.

Paint Schedule: See Sheet A5.1

Interior Gypsum Drywall:

Latex System - Eg-Shel Finish: 2 Coats over Primer

Primer: ProMar / 200 Zero VOC Latex Primer, B28W2600  
1st coat: ProMar 200 Zero VOC Latex Eg-Shel, B20-2400 Series  
2nd coat: ProMar 200 Zero VOC Latex Eg-Shel, B20-2400 Series

Epoxy System - Eg-Shel Finish: 2 Coats over Primer

Primer: ProMar / 200 Zero VOC Latex Primer, B28W2600  
1st coat: Pro Industrial Pre-Catalyzed Waterbased Epoxy K45 Series  
2nd coat: Pro Industrial Pre-Catalyzed Waterbased Epoxy K45 Series

Colors: Selected by Architect.

### DIVISION 10 - SPECIALTIES:

#### 10 14 00 - Signage

Tactile Plastic Signage: Graphic Blast MP (Melamine Plastic) ADA tactile sign system by Best Sign Systems Inc. or equal. Style shall be bordered with square corners and edges, with 1/32" raised copy & symbol, Grade 2 Braille, adhesive mount and fully ADA compliant. Colors shall be as selected by Architect from manufacturer's full color range.

Sign size & copy as Shown on the Drawings.

Submit manufacturer's descriptive literature and specifications. Submit shop drawings listing sign styles, lettering and locations, and overall dimensions of each sign.

Installation: Locate sign units where shown and as directed by Architect using mounting methods of the type described and in compliance with the manufacturer's instructions.

#### 10 28 00 - Toilet Accessories

Toilet Accessories: Stainless Steel Surface-Mounted Toilet Accessories. Submittals: Manufacturer's Information.

Basis of Design: Bradley Corporation. Equivalent Products from other manufacturers are acceptable.

Provide concealed anchorage except where noted otherwise. Provide satin finish stainless steel surface, except where noted otherwise. Mount accessories on solid blocking. Provide stainless steel grab bar 1 1/2" diameter with non-slip finish and 500 lb. min. design load.

Accessory Schedule:

Grab Bar: 812-2-001, lengths as indicated on Drawings.  
Framed Mirror Unit: 781, size as indicated on Drawings.  
Toilet Paper Dispenser: Install N.I.C. Dispenser Furnished by Owner.  
Wall Mount Soap Dispenser: Install N.I.C. Dispenser Furnished by Owner.  
Paper Towel Dispenser: Install N.I.C. Dispenser Furnished by Owner.  
Waste Receptacle: 357  
Utility Shelf: 9933, 4 Hooks / 3 Holders

### 10 44 00 - Fire Extinguishers & Cabinets

Fire Extinguishers: Provide Multi-Purpose Dry Chemical Type: UL-rated 4-A: 6-B: C, 10 lb. nominal capacity, in enameled steel container, for Class A, Class B, and Class C fires.  
Mounting Cabinets: Provide semi-recessed cabinet with rolled edge trim, small glass panel in door, and door-lock to hold type and capacity of extinguisher indicated, in manufacturer's standard enamel finish.

### 10 71 14 - Exterior Window Shades, Blinds and Coverings

Window Shades: Roman Style  
Width: 40 inches Minimum  
Height: 64 inches Minimum  
Type: Blackout  
Material: Fabric  
Finish: Linen  
Color: To be chosen from manufacturer's full catalog.  
Operation: Cordless  
Warranty: 1 year minimum

DIVISION 11 - EQUIPMENT:

DIVISION 12 - FURNISHINGS: N.I.C.

DIVISION 13 - SPECIAL CONSTRUCTION: N.I.C.

DIVISION 14 - CONVEYING SYSTEMS: N.I.C.

DIVISION 21 - FIRE SUPPRESSION: N.I.C.

### DIVISION 22 - PLUMBING

#### 22 44 00 - Food Service Plumbing Fixtures Disposals

Garbage Disposal  
Septic Safe  
Horsepower: Three-quarter (3/4)  
Grind Chamber Material: Stainless steel  
Power: 120V  
UL Listed  
Warranty: 8 years minimum

DIVISION 23 - HVAC:

DIVISION 26 - ELECTRICAL:

DIVISION 27 - COMMUNICATIONS:

DIVISION 31 - EARTHWORK:

DIVISION 32 - EXTERIOR IMPROVEMENTS N.I.C.



1/30/26

OUTLINE SPECIFICATIONS

LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

PROJECT NO.	DESCRIPTION
01/29/2026	Bid Set
02/13/2026	Addendum 2

G1.2

# OUTLINE SPECIFICATIONS

## DIVISION 09 - FINISHES - CONTINUED

**09 91 00 - Painting**  
 Field Painting: Includes surface preparation and application of paint systems on substrates.

Submittals: Manufacturer's Product Information.

Certification: Interior paints shall be GreenGuard Indoor Air Quality Certified by the GreenGuard Environmental Institute under GreenGuard Standard for low emitting products.

Basis of Design: Products of Sherwin Williams Company. Equal products from Porter, Benjamin Moore, Farrell - Calhoun or PPG are acceptable.

Apply in strict accordance with manufacturer's written instructions. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and/or refinishing.

Do not begin paint application until substrates have been properly examined and prepared. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding. Proceed with work only after conditions have been corrected, and approved by all parties, otherwise paint application will be considered as an acceptance of surface conditions.

Painting of Existing Building components: Prepare existing building's surface to be free from dirt, debris, chalk or rust. Loose, flaky or rusty coatings may need to be scraped and/or sanded smooth.

Extra Materials: Provide paint from the same product run, that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.

Quantity: 5 percent, but not less than 1 gal. of each material and color applied.

Paint Schedule: See sheet A5.1A

Interior Gypsum Drywall:

Latex System - Eg-Shel Finish: 2 Coats over Primer

Primer: ProMar / 200 Zero VOC Latex Primer, B28W2600  
 1st coat: ProMar 200 Zero VOC Latex Eg-Shel, B20-2600 Series  
 2nd coat: ProMar 200 Zero VOC Latex Eg-Shel, B20-2600 Series

Epoxy System - Eg-Shel Finish: 2 Coats over Primer

Primer: ProMar / 200 Zero VOC Latex Primer, B28W2600  
 1st coat: Pro Industrial Pre-Catalyzed Waterbased Epoxy K45 Series  
 2nd coat: Pro Industrial Pre-Catalyzed Waterbased Epoxy K45 Series

Colors: Selected by Architect.

## DIVISION 10 - SPECIALTIES

**10 14 00 - Signage**  
 Tactile Plastic Signage: Graphic Blast MP (Melamine Plastic) ADA tactile sign system by Best Sign Systems Inc. or equal. Style shall be bordered with square corners and edges, with 1/32" raised copy & symbol, Grade 2 Braille, adhesive mount and fully ADA compliant. Colors shall be as selected by Architect from manufacturer's full color range.

Sign size & copy as Shown on the Drawings.

Submit manufacturer's descriptive literature and specifications. Submit shop drawings listing sign styles, lettering and locations, and overall dimensions of each sign.

Installation: Locate sign units where shown and as directed by Architect using mounting methods of the type described and in compliance with the manufacturer's instructions.

## 10 28 00 - Toilet Accessories

Toilet Accessories: Stainless Steel Surface-Mounted Toilet Accessories.  
 Submittals: Manufacturer's Information.

Basis of Design: Bradley Corporation. Equivalent Products from other manufacturers are acceptable.

Provide concealed anchorage except where noted otherwise. Provide satin finish stainless steel surface, except where noted otherwise. Mount accessories on solid blocking. Provide stainless steel grab bar 1 1/2" diameter with non-slip finish and 500 lb. min. design load.

Accessory Schedule:

Grab Bar: 812-2-001, lengths as indicated on Drawings.  
 Framed Mirror Unit: 781, size as indicated on Drawings.  
 Toilet Paper Dispenser: Install N.I.C. Dispenser Furnished by Owner.  
 Wall Mount Soap Dispenser: Install N.I.C. Dispenser Furnished by Owner.  
 Paper Towel Dispenser: Install N.I.C. Dispenser Furnished by Owner.  
 Waste Receptacle: 357  
 Utility Shelf: 9933, 4 Hooks / 3 Holders

## 10 44 00 - Fire Extinguishers & Cabinets

Fire Extinguishers: Provide Multi-Purpose Dry Chemical Type: UL-rated 4-A; 6-B; C, 10 lb. nominal capacity, in enameled steel container, for Class A, Class B, and Class C fires.  
 Mounting Cabinets: Provide semi-recessed cabinet with rolled edge trim, small glass panel in door, and door lock to hold type and capacity of extinguisher indicated, in manufacturer's standard enamel finish.

DIVISION 11 - EQUIPMENT

DIVISION 12 - FURNISHINGS: N.I.C.

DIVISION 13 - SPECIAL CONSTRUCTION: N.I.C.

DIVISION 14 - CONVEYING SYSTEMS: N.I.C.

DIVISION 21 - FIRE SUPPRESSION: N.I.C.

## DIVISION 22 - PLUMBING

### 22 44 00 - Food Service Plumbing Fixtures Disposals

Garbage Disposal  
 Septic Safe  
 Horsepower: Three-quarter (3/4)  
 Grind Chamber Material: Stainless steel  
 Power: 120V  
 UL Listed  
 Warranty: 8 years minimum

DIVISION 23 - HVAC:

DIVISION 26 - ELECTRICAL:

DIVISION 27 - COMMUNICATIONS:

DIVISION 31 - EARTHWORK:

DIVISION 32 - EXTERIOR IMPROVEMENTS N.I.C.

1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
 Phone: (931) 552-5113 - www.mccogtn.org/engineer

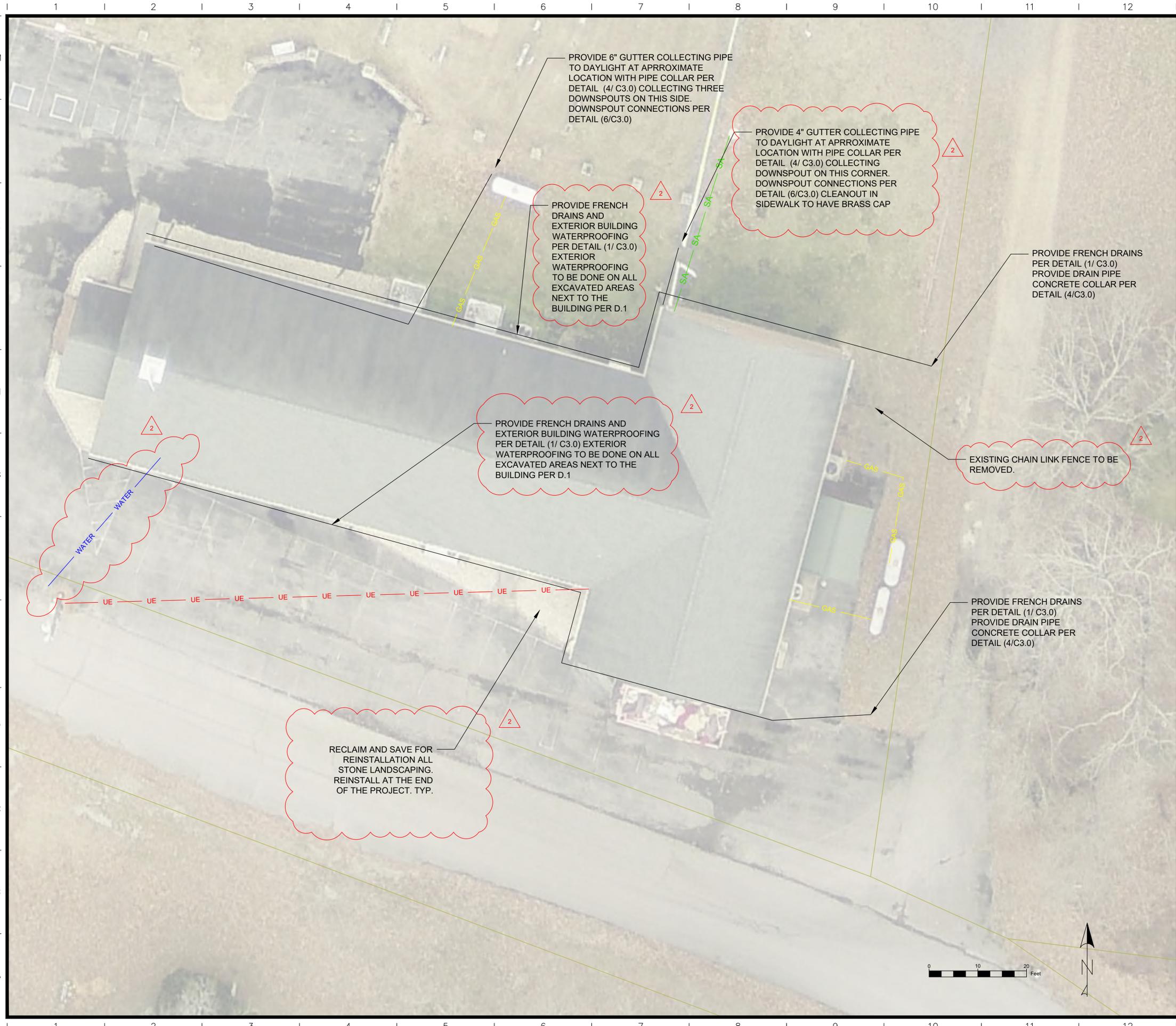


1/30/26

ADD ALTERNATE #2:  
 OUTLINE SPECIFICATIONS  
 LONE OAK COMMUNITY CENTER  
 4445 LOUISE ROAD  
 CUNNINGHAM, TENNESSEE

PROJECT NO.	
DESCRIPTION	Bid Set
DATE	01/29/2026
	02/13/2026
	Addendum 2
DRAWN BY	BHH

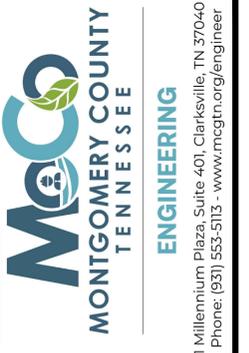
# G1.2A



NOTES:

- ALL WORK IN THESE C SHEETS ARE INCLUDED IN ADD ALTERNATE #1
- UTILITY LOCATIONS ARE ASSUMED BASED ON ONLY LIMITED ABOVE GROUND OBSERVATIONS, CONTRACTOR SHALL FIELD VERIFY LOCATIONS PRIOR TO BEGINNING DIGGING. THE UTILITY LOCATIONS ARE NOT EXHAUSTIVE, AS THERE MAY BE OTHER LINES THE COUNTY IS NOT AWARE OF.
- CONTRACTOR TO DETERMINE METHOD OF TRENCHING. SAW CUT EXISTING ASPHALT TO PROVIDE A CLEAN EDGE. ANY DAMAGED ASPHALT SHALL BE REPAIRED PER DETAIL (5/C3.0) WITH 8" OF PUG MIX.
- ALL DISTURBED GRASS AREA SHALL BE STABILIZED WITH SEED AND STRAW MATTING
- **CONTRACTOR TO CHECK THAT HVAC UNITS ARE IN WORKING ORDER BEFORE DISCONNECTING, REMOVING, AND STORING FOR WORK TO START. AFTER DIGGING WORK IS COMPLETED, HVAC UNITS TO BE REINSTALLED, AND RECONNECTED ON NEW CONCRETE PADS WITH REBAR PER NOTES. HVAC UNITS TO BE IN GOOD WORKING ORDER AT THE END OF THE JOB.**
- **CONTRACTOR TO REMOVE VINYL 3 RAIL FENCE TO ALLOW FOR NEW WALKWAY, GATE TO REMAIN.**

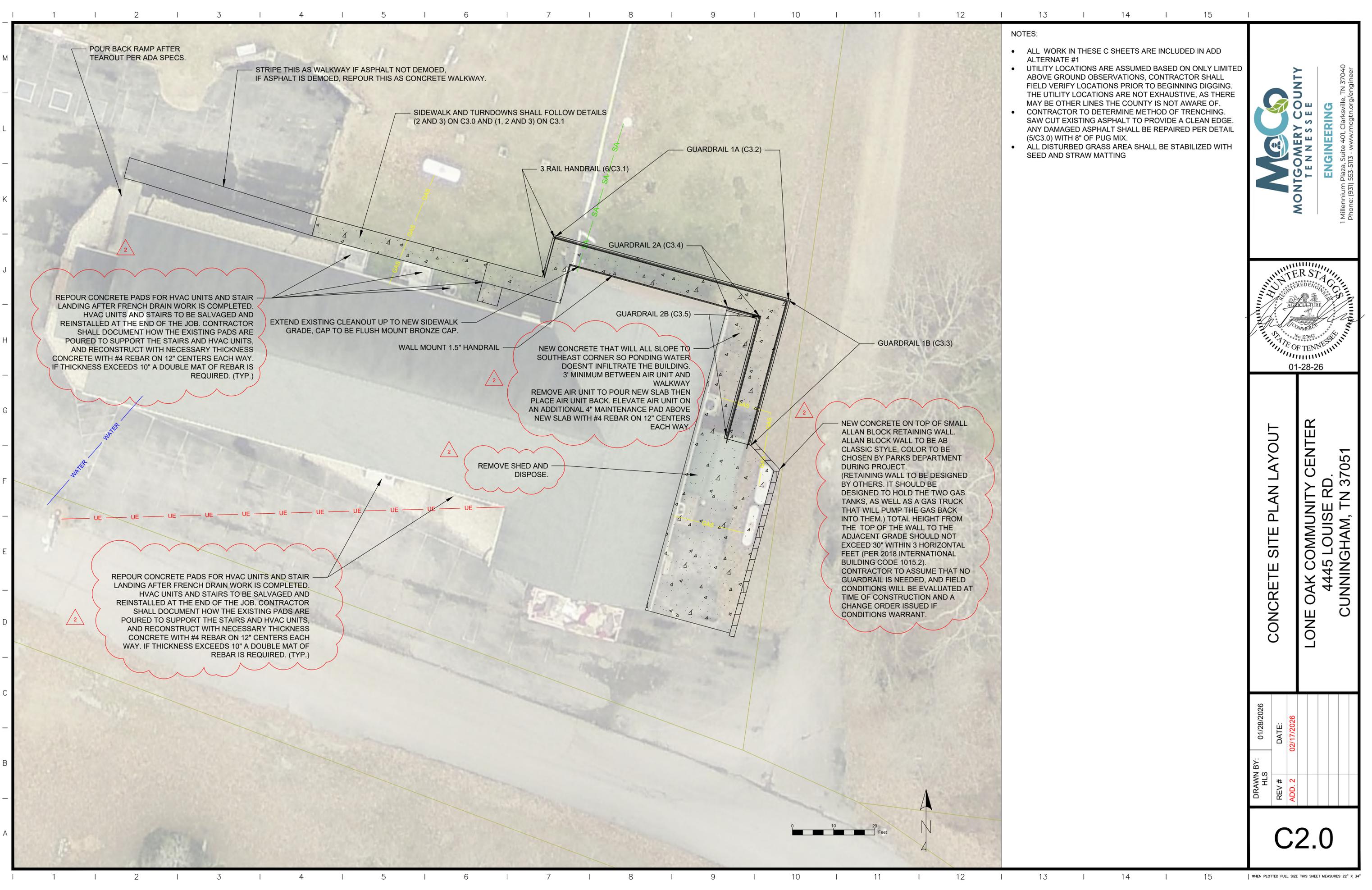
WHILE PROVIDING FRENCH DRAINS, CONTRACTOR IS TO WATERPROOF THE LOWER FLOOR USING (1/C3.0) AS A GUIDE



FRENCH DRAIN LAYOUT  
 LONE OAK COMMUNITY CENTER  
 4445 LOUISE RD.  
 CUNNINGHAM, TN 37051

DRAWN BY:	HLS	01/28/2026
REV #	ADD. 2	DATE: 02/17/2026

C1.0



NOTES:

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- CONTRACTOR TO DETERMINE METHOD OF TRENCHING. SAW CUT EXISTING ASPHALT TO PROVIDE A CLEAN EDGE. ANY DAMAGED ASPHALT SHALL BE REPAIRED PER DETAIL (5/C3.0) WITH 8" OF PUG MIX.
- ALL DISTURBED GRASS AREA SHALL BE STABILIZED WITH SEED AND STRAW MATTING

**MCCO**  
**MONTGOMERY COUNTY**  
**TENNESSEE**  
**ENGINEERING**

1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
 Phone: (931) 533-5113 - www.mccotn.org/engineer

**HUNTER STAGGS**  
 REGISTERED ENGINEER  
 AGRICULTURE  
 No. 17642  
 STATE OF TENNESSEE

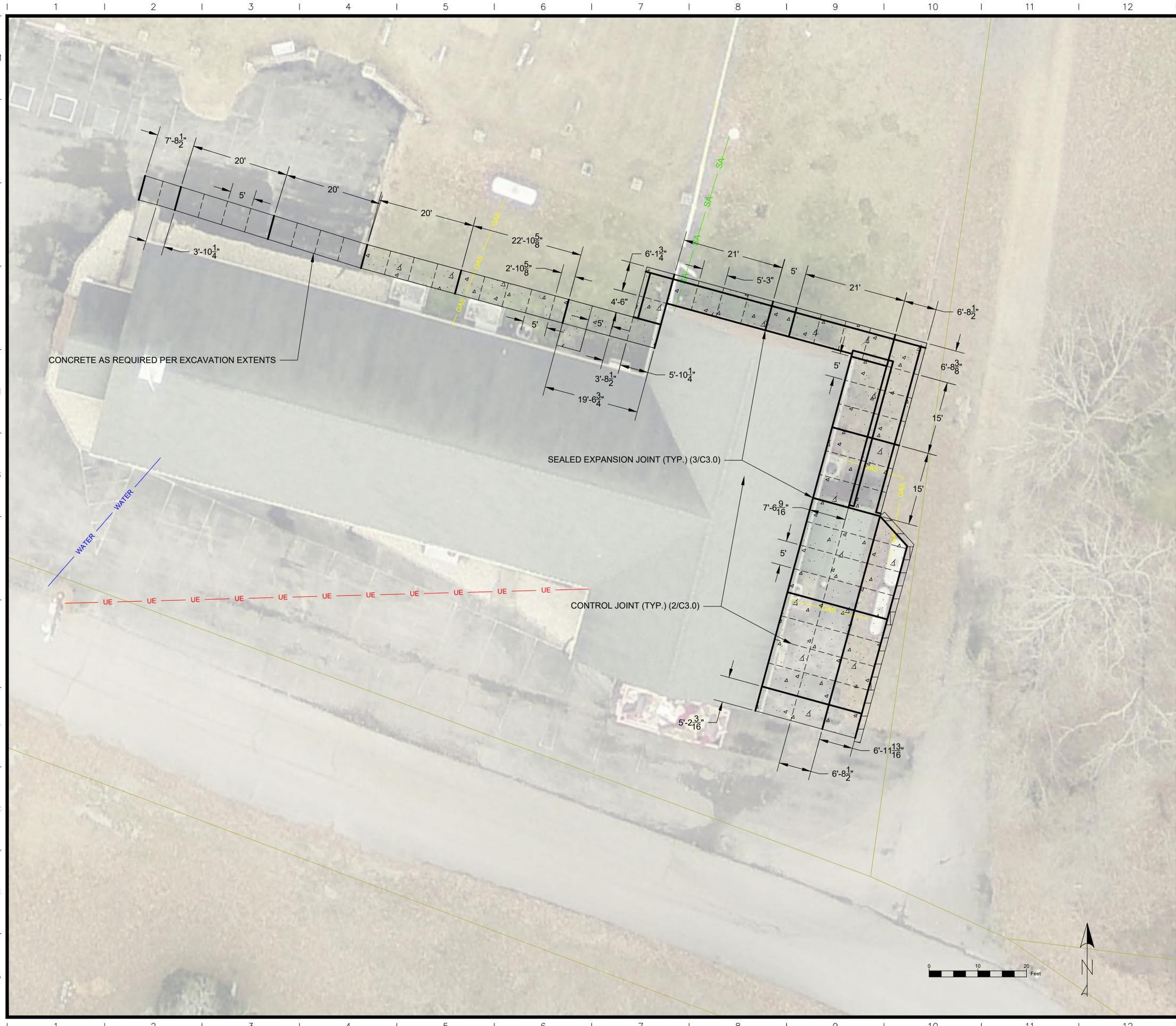
01-28-26

**CONCRETE SITE PLAN LAYOUT**

**LONE OAK COMMUNITY CENTER**  
 4445 LOUISE RD.  
 CUNNINGHAM, TN 37051

DRAWN BY:	HLS	01/28/2026
REV #	ADD. 2	DATE: 02/17/2026

**C2.0**



NOTES:

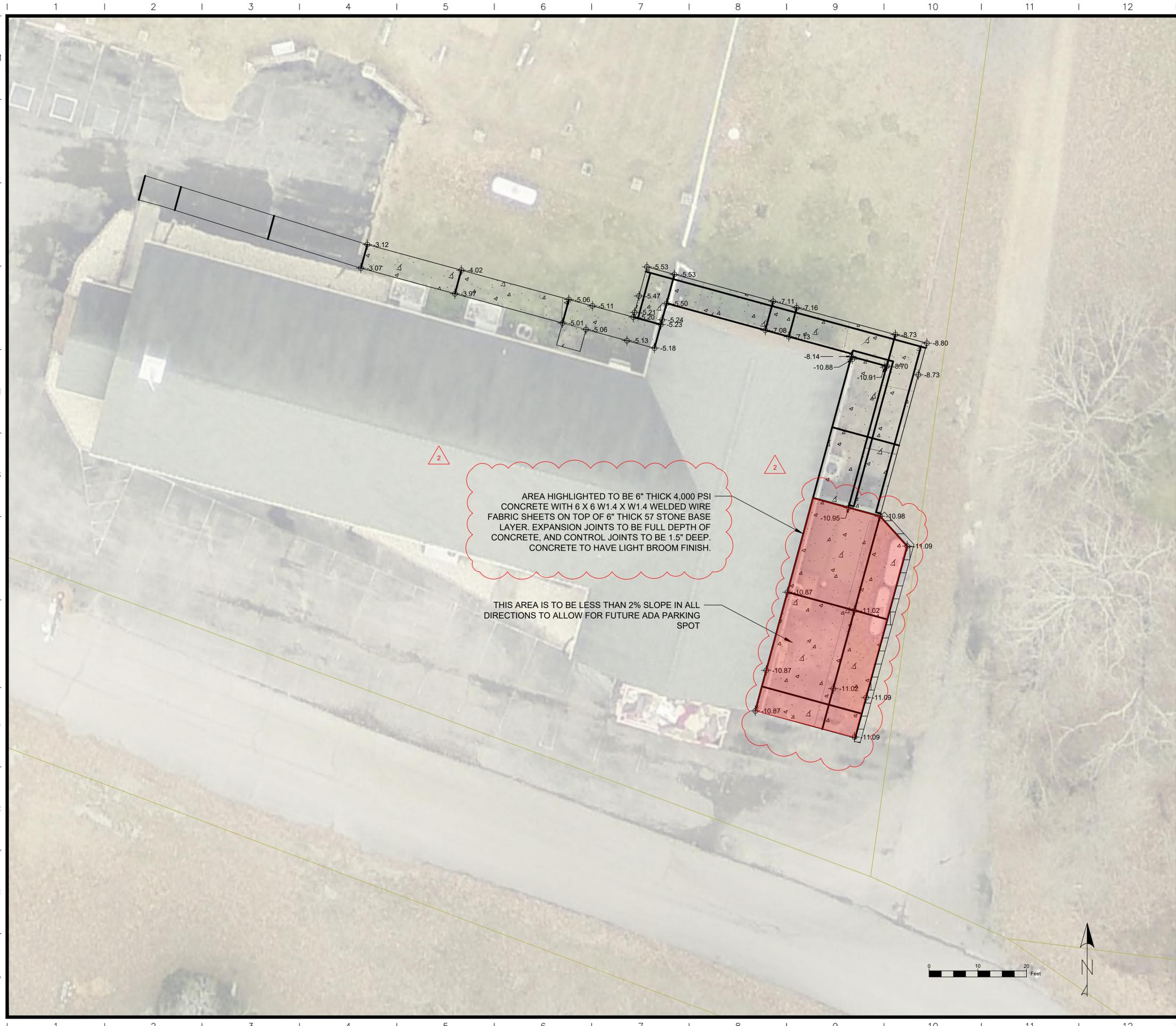
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- CONTRACTOR TO DETERMINE METHOD OF TRENCHING. SAW CUT EXISTING ASPHALT TO PROVIDE A CLEAN EDGE. ANY DAMAGED ASPHALT SHALL BE REPAIRED PER DETAIL (5/C3.0) WITH 8" OF PUG MIX.
- ALL DISTURBED GRASS AREA SHALL BE STABILIZED WITH SEED AND STRAW MATTING



**CONCRETE  
JOINTING PLAN**  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE RD.**  
**CUNNINGHAM, TN 37051**

DRAWN BY: HLS	01/28/2026
REV # ADD. 2	DATE: 02/17/2026

C2.1



AREA HIGHLIGHTED TO BE 6" THICK 4,000 PSI CONCRETE WITH 6 X 6 W1.4 X W1.4 WELDED WIRE FABRIC SHEETS ON TOP OF 6" THICK 57 STONE BASE LAYER. EXPANSION JOINTS TO BE FULL DEPTH OF CONCRETE, AND CONTROL JOINTS TO BE 1.5" DEEP. CONCRETE TO HAVE LIGHT BROOM FINISH.

THIS AREA IS TO BE LESS THAN 2% SLOPE IN ALL DIRECTIONS TO ALLOW FOR FUTURE ADA PARKING SPOT

NOTES:

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- CONTRACTOR TO DETERMINE METHOD OF TRENCHING. SAW CUT EXISTING ASPHALT TO PROVIDE A CLEAN EDGE. ANY DAMAGED ASPHALT SHALL BE REPAIRED PER DETAIL (5/C3.0) WITH 8" OF PUG MIX.
- ALL DISTURBED GRASS AREA SHALL BE STABILIZED WITH SEED AND STRAW MATTING
- ELEVATIONS WERE TAKEN FROM BASEPOINT OF TOP FLOOR FFE ASSUMED AS 0.0'. ELEVATIONS OBTAINED FROM VERY LIMITED FIELD OBSERVATIONS. LAYOUT ALL PROPOSED WORK BEFORE BEGINNING, AND INFORM ENGINEER IF ANY DISCREPANCIES OCCUR.

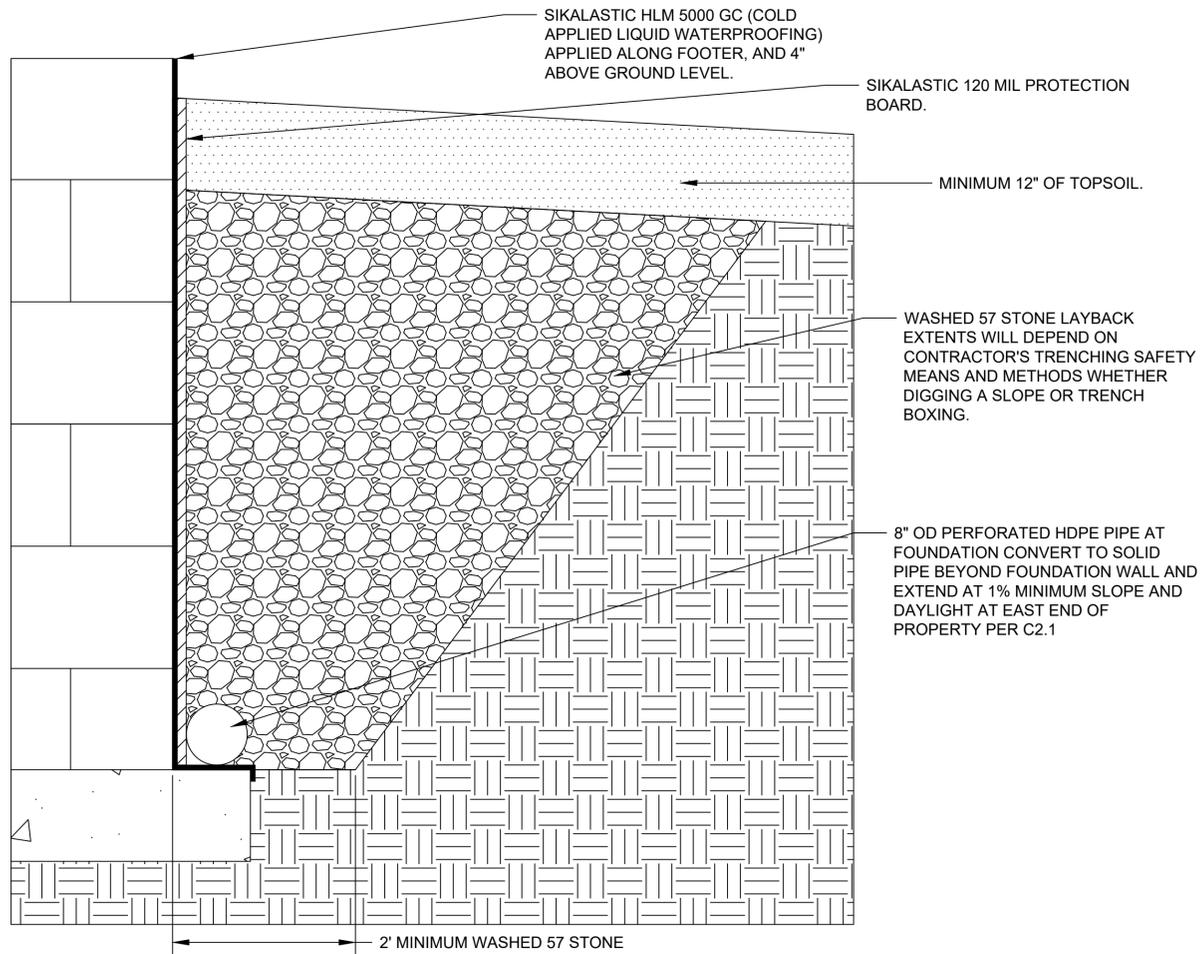
**MCCO**  
**MONTGOMERY COUNTY**  
**TENNESSEE**  
**ENGINEERING**  
 1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
 Phone: (931) 533-5113 - www.mccotn.org/engineer

**HUNTER STAGGS**  
 REGISTERED ENGINEER  
 AGRICULTURE  
 No. B7642  
 STATE OF TENNESSEE  
 01-28-26

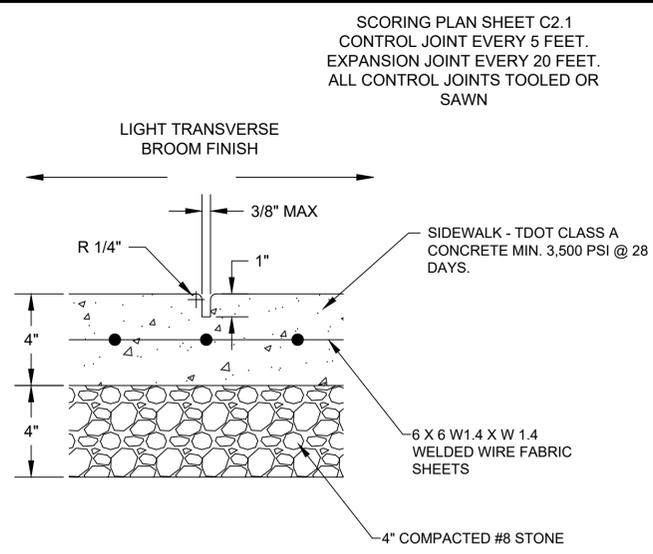
**GRADING PLAN**  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE RD.**  
**CUNNINGHAM, TN 37051**

DRAWN BY: HLS	01/28/2026
REV # ADD. 2	DATE: 02/17/2026

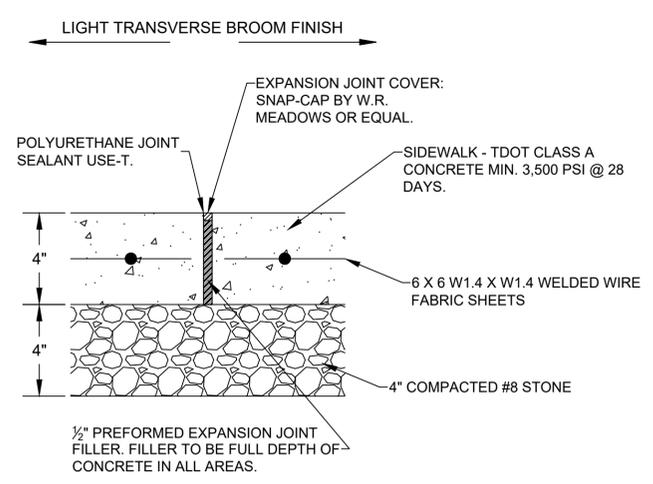
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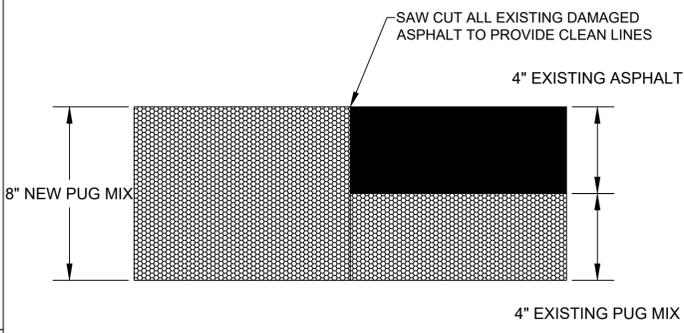
**1 FOUNDATION DRAIN**  
NOT TO SCALE



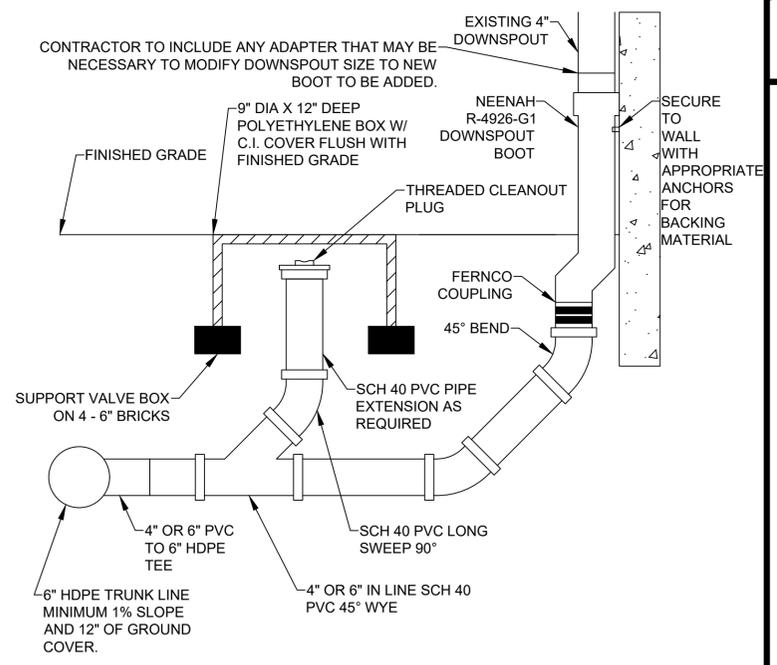
**2 WALK CONTROL JOINT**  
NOT TO SCALE



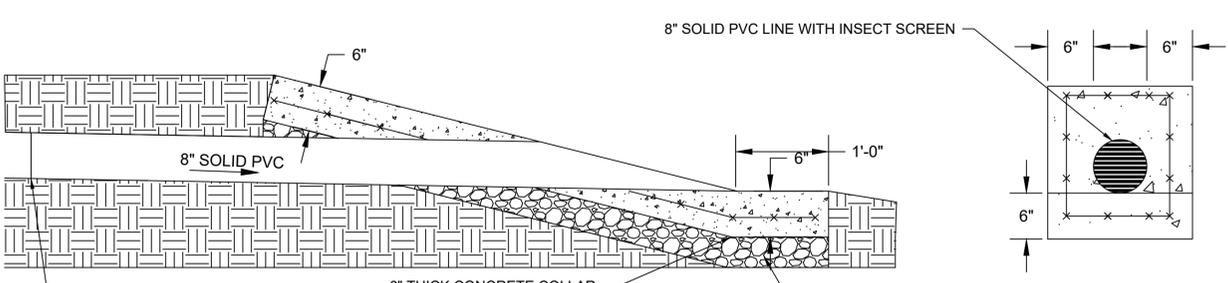
**3 WALK EXPANSION JOINT**  
NOT TO SCALE



**5 ASPHALT REPAIR**  
NOT TO SCALE

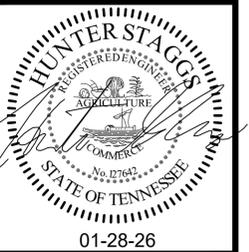


**6 DOWNSPOUT BOOT DETAIL**  
NOT TO SCALE



**4 PIPE COLLAR DETAILS**  
NOT TO SCALE

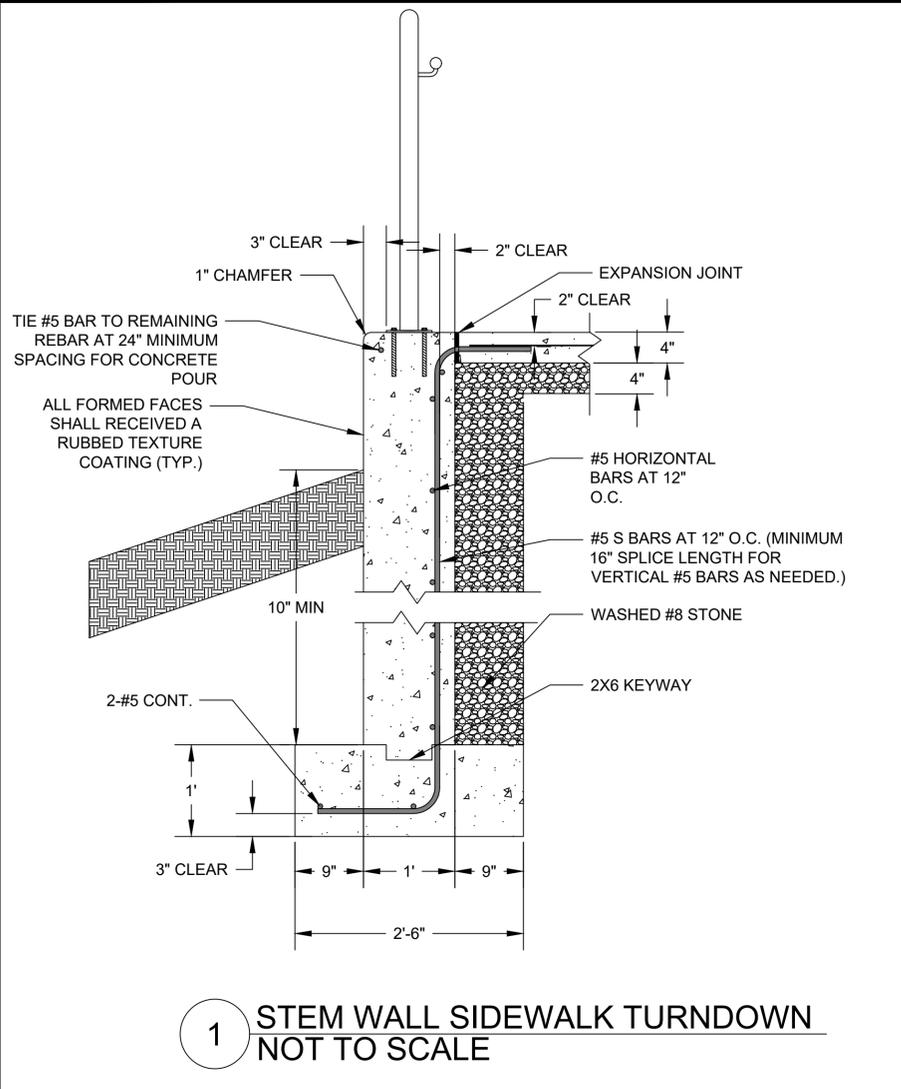
**MCCO**  
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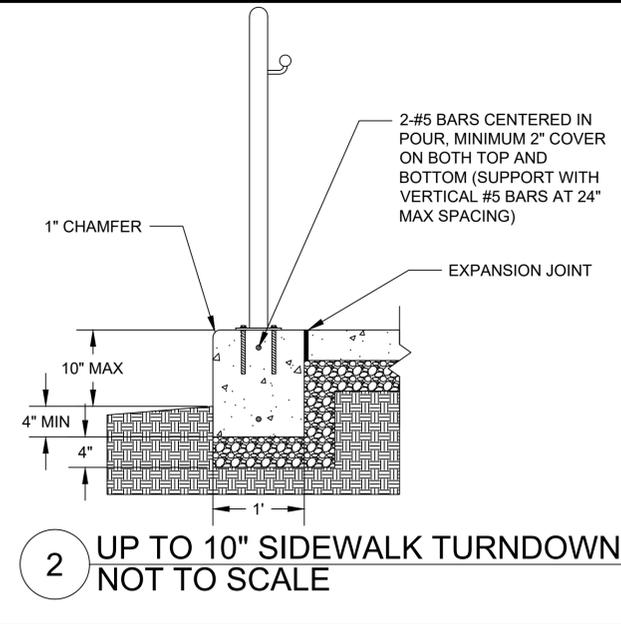
**DETAILS**  
LONE OAK COMMUNITY CENTER  
4445 LOUISE RD.  
CUNNINGHAM, TN 37051

DRAWN BY:	HLS	DATE:	01/28/2026
REV #	ADD. 2	DATE:	02/17/2026

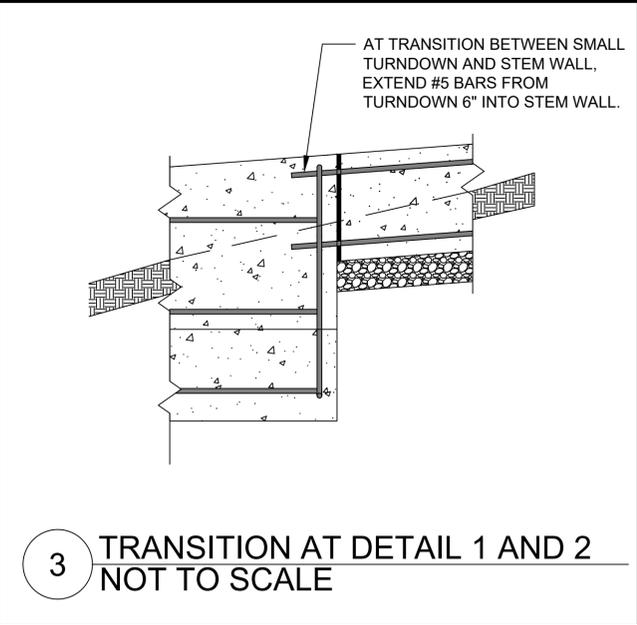
**C3.0**



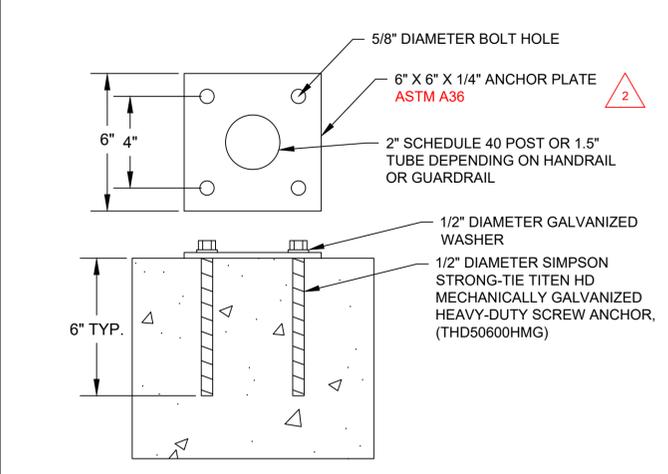
**1** STEM WALL SIDEWALK TURNDOWN  
NOT TO SCALE



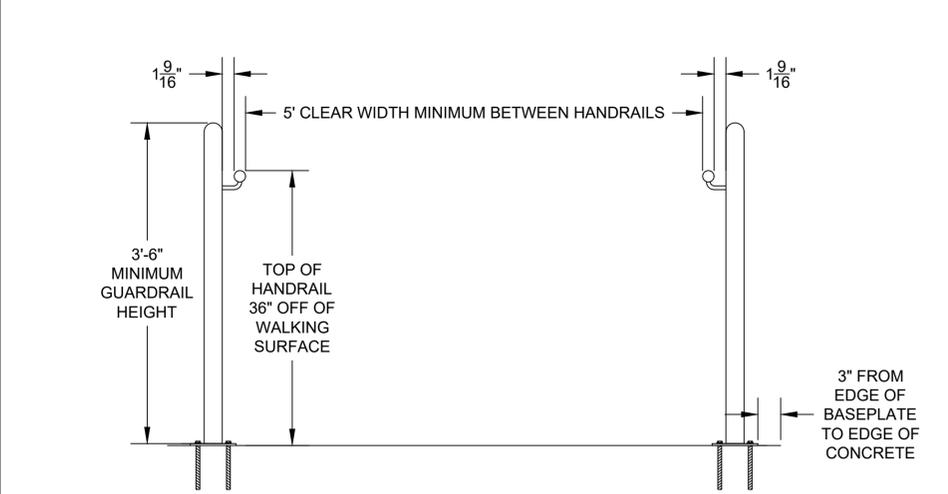
**2** UP TO 10" SIDEWALK TURNDOWN  
NOT TO SCALE



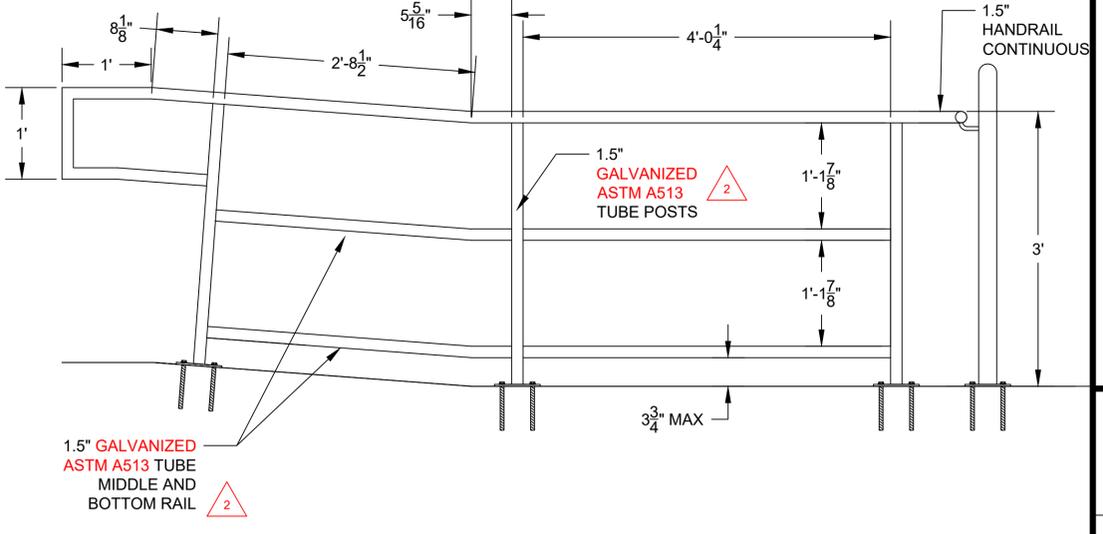
**3** TRANSITION AT DETAIL 1 AND 2  
NOT TO SCALE



**4** ANCHOR PLATE DETAIL  
NOT TO SCALE

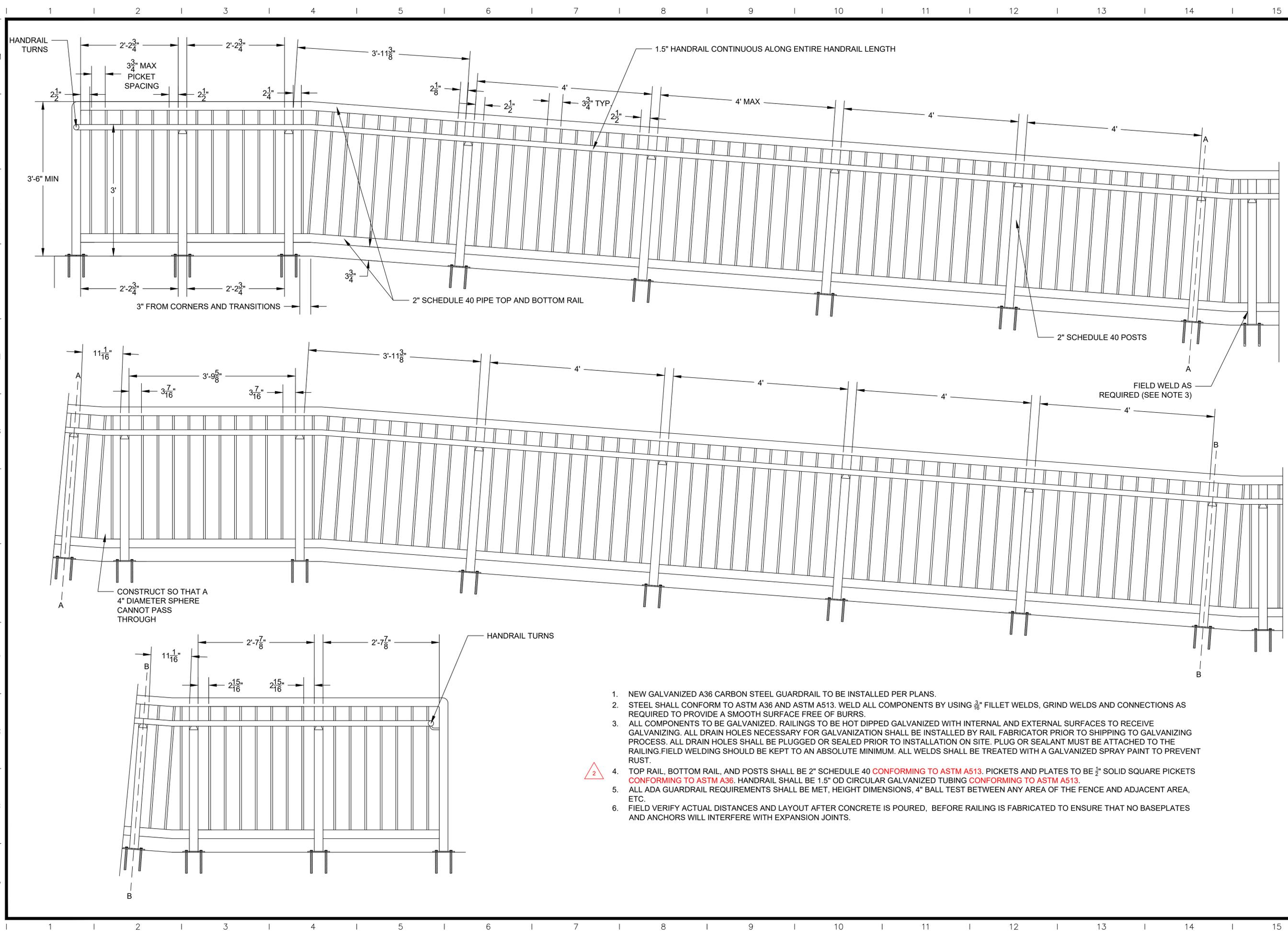


**5** WALKWAY DETAIL  
NOT TO SCALE



**6** 3 RAIL HANDRAIL  
NOT TO SCALE

DRAWN BY: HLS	DATE: 02/17/2026
REV # ADD. 2	



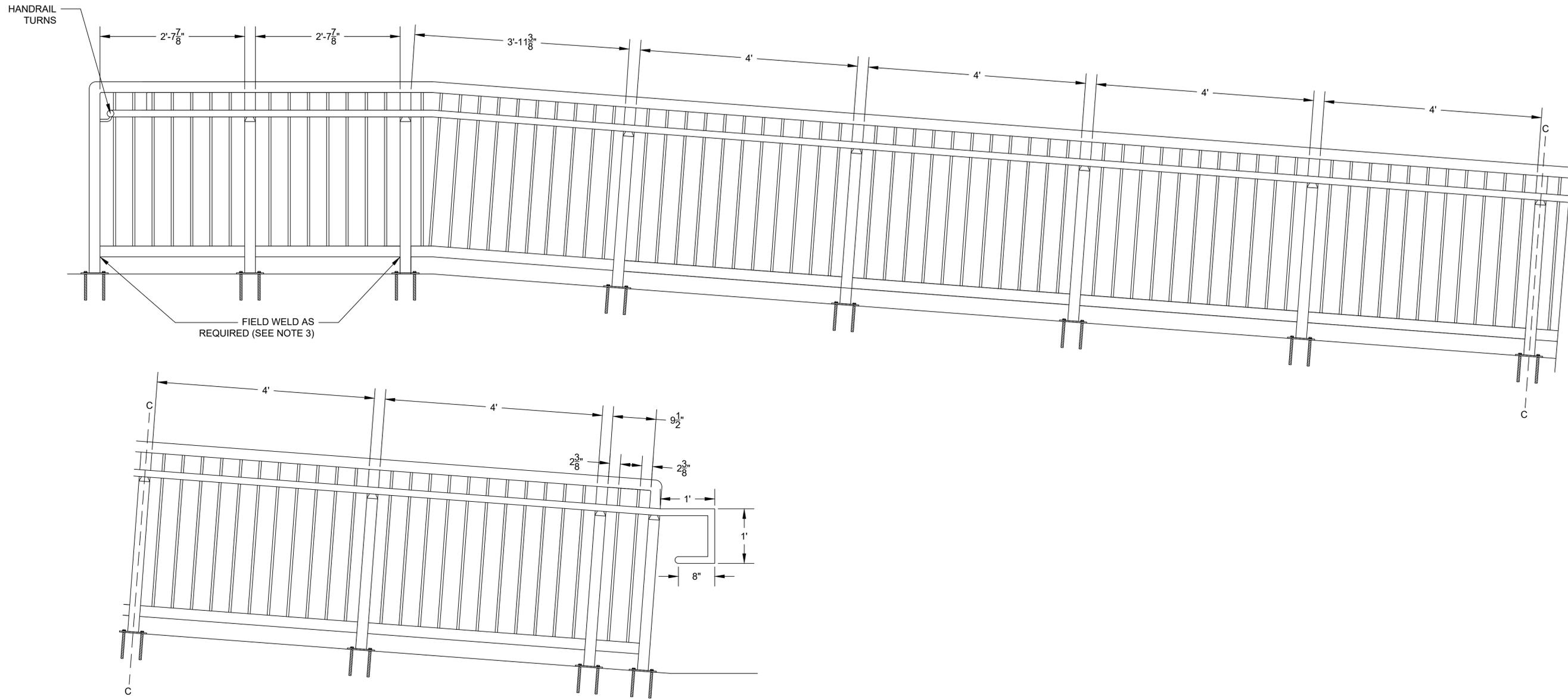
1. NEW GALVANIZED A36 CARBON STEEL GUARDRAIL TO BE INSTALLED PER PLANS.
2. STEEL SHALL CONFORM TO ASTM A36 AND ASTM A513. WELD ALL COMPONENTS BY USING 3/16" FILLET WELDS, GRIND WELDS AND CONNECTIONS AS REQUIRED TO PROVIDE A SMOOTH SURFACE FREE OF BURRS.
3. ALL COMPONENTS TO BE GALVANIZED. RAILINGS TO BE HOT DIPPED GALVANIZED WITH INTERNAL AND EXTERNAL SURFACES TO RECEIVE GALVANIZING. ALL DRAIN HOLES NECESSARY FOR GALVANIZATION SHALL BE INSTALLED BY RAIL FABRICATOR PRIOR TO SHIPPING TO GALVANIZING PROCESS. ALL DRAIN HOLES SHALL BE PLUGGED OR SEALED PRIOR TO INSTALLATION ON SITE. PLUG OR SEALANT MUST BE ATTACHED TO THE RAILING. FIELD WELDING SHOULD BE KEPT TO AN ABSOLUTE MINIMUM. ALL WELDS SHALL BE TREATED WITH A GALVANIZED SPRAY PAINT TO PREVENT RUST.
4. TOP RAIL, BOTTOM RAIL, AND POSTS SHALL BE 2" SCHEDULE 40 CONFORMING TO ASTM A513. PICKETS AND PLATES TO BE 1/2" SOLID SQUARE PICKETS CONFORMING TO ASTM A36. HANDRAIL SHALL BE 1.5" OD CIRCULAR GALVANIZED TUBING CONFORMING TO ASTM A513.
5. ALL ADA GUARDRAIL REQUIREMENTS SHALL BE MET, HEIGHT DIMENSIONS, 4" BALL TEST BETWEEN ANY AREA OF THE FENCE AND ADJACENT AREA, ETC.
6. FIELD VERIFY ACTUAL DISTANCES AND LAYOUT AFTER CONCRETE IS POURED, BEFORE RAILING IS FABRICATED TO ENSURE THAT NO BASEPLATES AND ANCHORS WILL INTERFERE WITH EXPANSION JOINTS.



**GUARDRAIL 1A**  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE RD.**  
**CUNNINGHAM, TN 37051**

DRAWN BY: HLS	01/28/2026
REV # ADD. 2	DATE: 02/17/2026

**C3.2**



1. NEW GALVANIZED A36 CARBON STEEL GUARDRAIL TO BE INSTALLED PER PLANS.
2. STEEL SHALL CONFORM TO ASTM A36 AND ASTM A513. WELD ALL COMPONENTS BY USING  $\frac{3}{8}$ " FILLET WELDS, GRIND WELDS AND CONNECTIONS AS REQUIRED TO PROVIDE A SMOOTH SURFACE FREE OF BURRS.
3. ALL COMPONENTS TO BE GALVANIZED. RAILINGS TO BE HOT DIPPED GALVANIZED WITH INTERNAL AND EXTERNAL SURFACES TO RECEIVE GALVANIZING. ALL DRAIN HOLES NECESSARY FOR GALVANIZATION SHALL BE INSTALLED BY RAIL FABRICATOR PRIOR TO SHIPPING TO GALVANIZING PROCESS. ALL DRAIN HOLES SHALL BE PLUGGED OR SEALED PRIOR TO INSTALLATION ON SITE. PLUG OR SEALANT MUST BE ATTACHED TO THE RAILING. FIELD WELDING SHOULD BE KEPT TO AN ABSOLUTE MINIMUM. ALL WELDS SHALL BE TREATED WITH A GALVANIZED SPRAY PAINT TO PREVENT RUST.
4. TOP RAIL, BOTTOM RAIL, AND POSTS SHALL BE 2" SCHEDULE 40 **CONFORMING TO ASTM A513**. PICKETS AND PLATES TO BE  $\frac{1}{2}$ " SOLID SQUARE PICKETS **CONFORMING TO ASTM A36**. HANDRAIL SHALL BE 1.5" OD CIRCULAR GALVANIZED TUBING **CONFORMING TO ASTM A513**.
5. ALL ADA GUARDRAIL REQUIREMENTS SHALL BE MET, HEIGHT DIMENSIONS, 4" BALL TEST BETWEEN ANY AREA OF THE FENCE AND ADJACENT AREA, ETC.
6. FIELD VERIFY ACTUAL DISTANCES AND LAYOUT AFTER CONCRETE IS POURED, BEFORE RAILING IS FABRICATED TO ENSURE THAT NO BASEPLATES AND ANCHORS WILL INTERFERE WITH EXPANSION JOINTS.

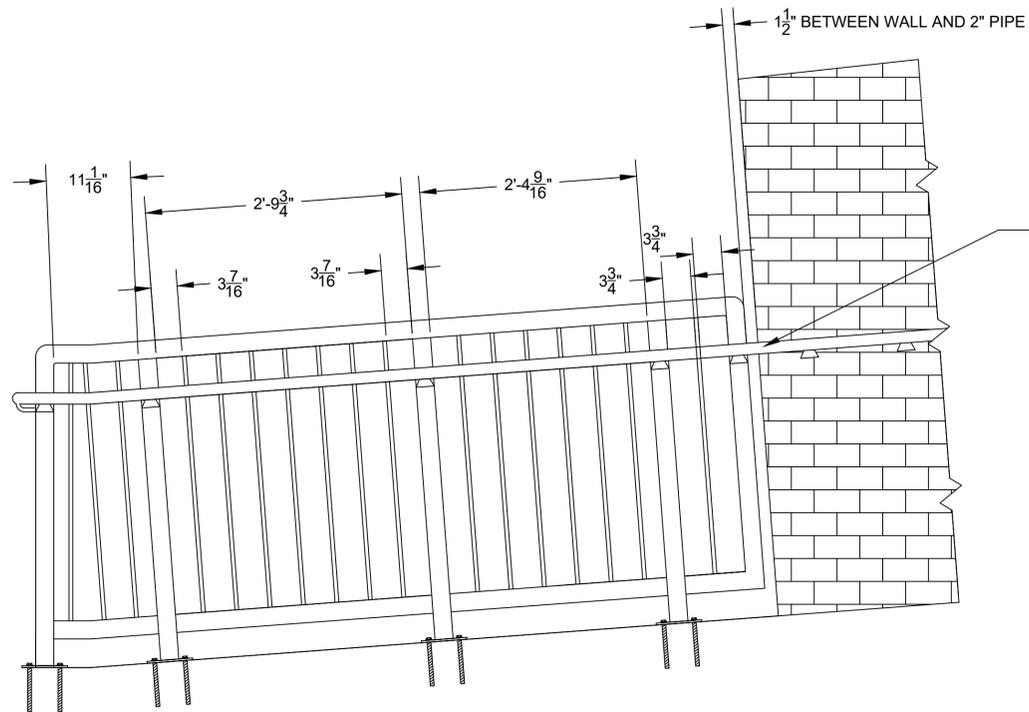


GUARDRAIL 1B

LONE OAK COMMUNITY CENTER  
4445 LOUISE RD.  
CUNNINGHAM, TN 37051

DRAWN BY: HLS	01/28/2026
REV # ADD. 2	DATE: 02/17/2026

C3.3



HANDRAIL TO BE CONTINUOUS, WELDED TOGETHER IN THE FIELD, GROUND DOWN AND DEBURRED, AND GALVANIZED ON SITE.



1. NEW GALVANIZED A36 CARBON STEEL GUARDRAIL TO BE INSTALLED PER PLANS.
2. STEEL SHALL CONFORM TO ASTM A36 AND ASTM A513. WELD ALL COMPONENTS BY USING  $\frac{3}{16}$ " FILLET WELDS, GRIND WELDS AND CONNECTIONS AS REQUIRED TO PROVIDE A SMOOTH SURFACE FREE OF BURRS.
3. ALL COMPONENTS TO BE GALVANIZED. RAILINGS TO BE HOT DIPPED GALVANIZED WITH INTERNAL AND EXTERNAL SURFACES TO RECEIVE GALVANIZING. ALL DRAIN HOLES NECESSARY FOR GALVANIZATION SHALL BE INSTALLED BY RAIL FABRICATOR PRIOR TO SHIPPING TO GALVANIZING PROCESS. ALL DRAIN HOLES SHALL BE PLUGGED OR SEALED PRIOR TO INSTALLATION ON SITE. PLUG OR SEALANT MUST BE ATTACHED TO THE RAILING. FIELD WELDING SHOULD BE KEPT TO AN ABSOLUTE MINIMUM. ALL WELDS SHALL BE TREATED WITH A GALVANIZED SPRAY PAINT TO PREVENT RUST.
4. TOP RAIL, BOTTOM RAIL, AND POSTS SHALL BE 2" SCHEDULE 40 CONFORMING TO ASTM A513. PICKETS AND PLATES TO BE  $\frac{1}{2}$ " SOLID SQUARE PICKETS CONFORMING TO ASTM A36. HANDRAIL SHALL BE 1.5" OD CIRCULAR GALVANIZED TUBING CONFORMING TO ASTM A513.
5. ALL ADA GUARDRAIL REQUIREMENTS SHALL BE MET, HEIGHT DIMENSIONS, 4" BALL TEST BETWEEN ANY AREA OF THE FENCE AND ADJACENT AREA, ETC.
6. FIELD VERIFY ACTUAL DISTANCES AND LAYOUT AFTER CONCRETE IS POURED, BEFORE RAILING IS FABRICATED TO ENSURE THAT NO BASEPLATES AND ANCHORS WILL INTERFERE WITH EXPANSION JOINTS.

**MCCO**  
**MONTGOMERY COUNTY**  
**TENNESSEE**  
**ENGINEERING**

1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
 Phone: (931) 533-5113 - www.mccotn.org/engineer

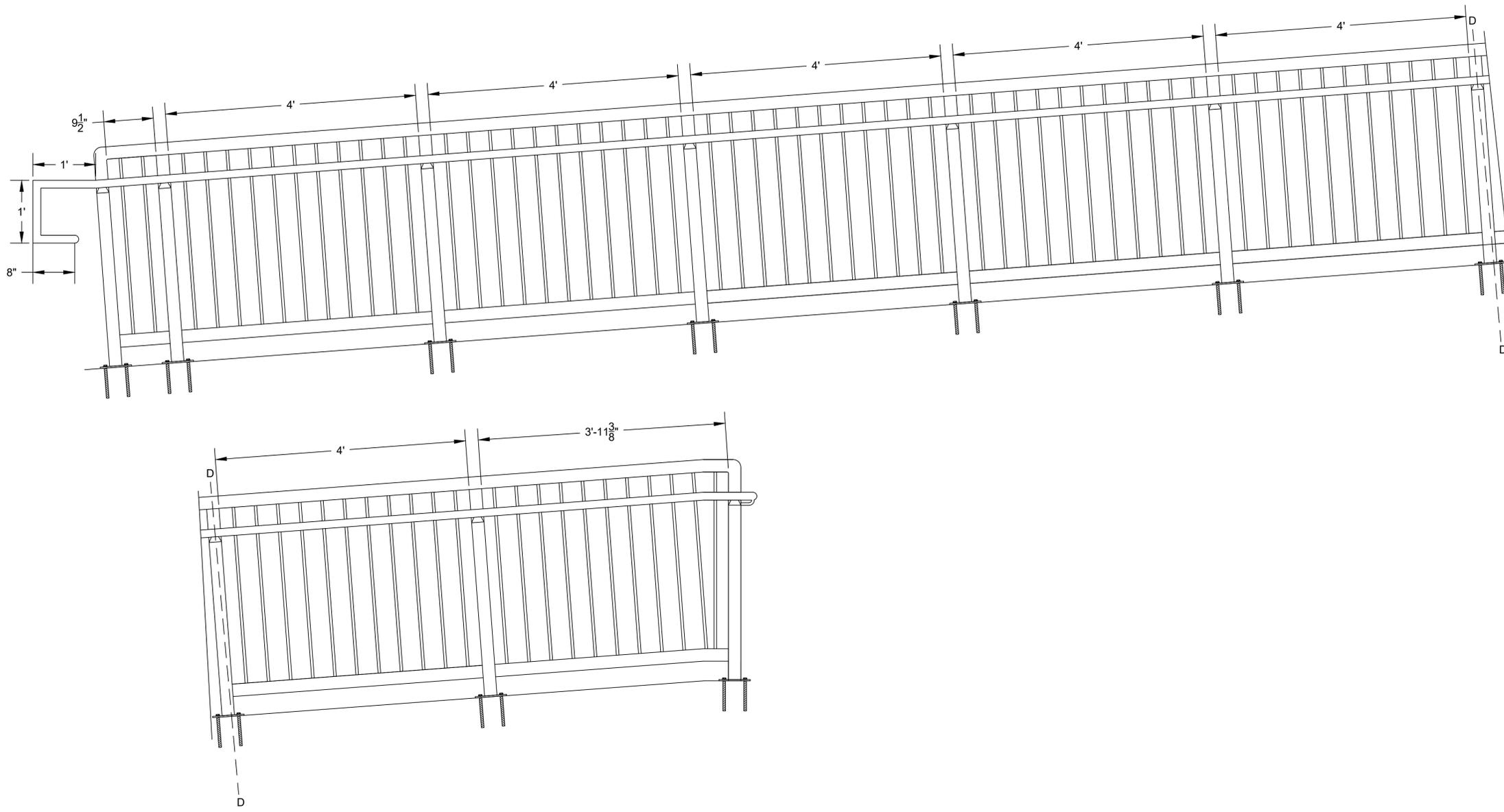
HUNTER STAGGS  
 REGISTERED ENGINEER  
 No. 17642  
 STATE OF TENNESSEE  
 01-28-26

GUARDRAIL 2A

LONE OAK COMMUNITY CENTER  
 4445 LOUISE RD.  
 CUNNINGHAM, TN 37051

DRAWN BY: HLS	01/28/2026
REV #	DATE:
ADD. 2	02/17/2026

C3.4



1. NEW GALVANIZED A36 CARBON STEEL GUARDRAIL TO BE INSTALLED PER PLANS.
2. STEEL SHALL CONFORM TO ASTM A36 AND ASTM A513. WELD ALL COMPONENTS BY USING  $\frac{3}{8}$ " FILLET WELDS, GRIND WELDS AND CONNECTIONS AS REQUIRED TO PROVIDE A SMOOTH SURFACE FREE OF BURRS.
3. ALL COMPONENTS TO BE GALVANIZED. RAILINGS TO BE HOT DIPPED GALVANIZED WITH INTERNAL AND EXTERNAL SURFACES TO RECEIVE GALVANIZING. ALL DRAIN HOLES NECESSARY FOR GALVANIZATION SHALL BE INSTALLED BY RAIL FABRICATOR PRIOR TO SHIPPING TO GALVANIZING PROCESS. ALL DRAIN HOLES SHALL BE PLUGGED OR SEALED PRIOR TO INSTALLATION ON SITE. PLUG OR SEALANT MUST BE ATTACHED TO THE RAILING. FIELD WELDING SHOULD BE KEPT TO AN ABSOLUTE MINIMUM. ALL WELDS SHALL BE TREATED WITH A GALVANIZED SPRAY PAINT TO PREVENT RUST.
4. TOP RAIL, BOTTOM RAIL, AND POSTS SHALL BE 2" SCHEDULE 40 **CONFORMING TO ASTM A513**. PICKETS AND PLATES TO BE  $\frac{1}{2}$ " SOLID SQUARE PICKETS **CONFORMING TO ASTM A36**. HANDRAIL SHALL BE 1.5" OD CIRCULAR GALVANIZED TUBING **CONFORMING TO ASTM A513**.
5. ALL ADA GUARDRAIL REQUIREMENTS SHALL BE MET, HEIGHT DIMENSIONS, 4" BALL TEST BETWEEN ANY AREA OF THE FENCE AND ADJACENT AREA, ETC.
6. FIELD VERIFY ACTUAL DISTANCES AND LAYOUT AFTER CONCRETE IS POURED, BEFORE RAILING IS FABRICATED TO ENSURE THAT NO BASEPLATES AND ANCHORS WILL INTERFERE WITH EXPANSION JOINTS.



**GUARDRAIL 2B**  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE RD.**  
**CUNNINGHAM, TN 37051**

DRAWN BY: HLS	01/28/2026
REV # ADD. 2	DATE: 02/17/2026

**C3.5**

### KEY NOTES

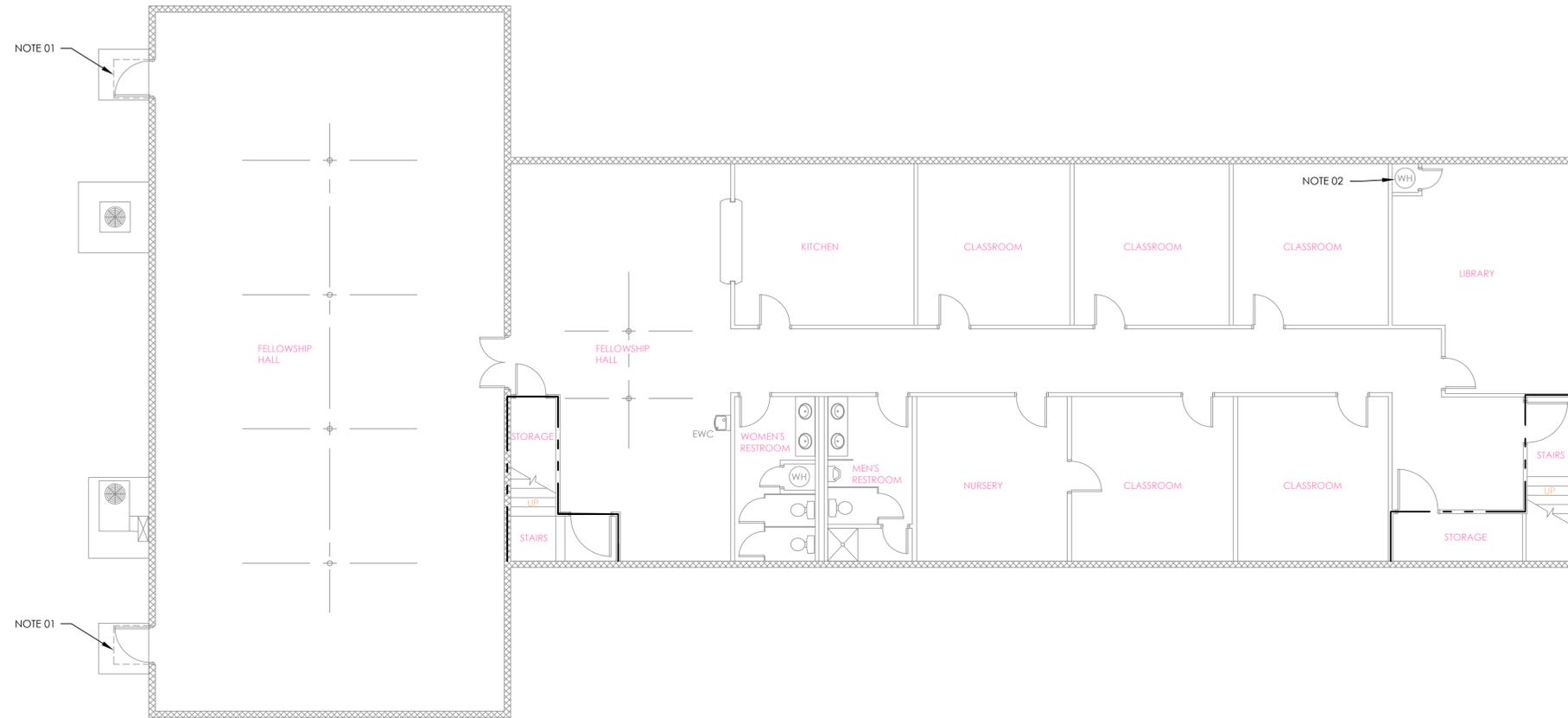
- 01 EXISTING OVERHEAD CANOPY
- 02 EXISTING WATER HEATER FOR FRONT UPSTAIRS RESTROOMS

### GENERAL NOTES

EXISTING FLOOR PLAN HAS BEEN DRAWN USING ROUGH DIMENSIONS. ALL DIMENSIONS WILL NEED TO BE FIELD VERIFIED PRIOR TO BEGINNING ANY WORK.

### LEGEND

- EXISTING STUD AND GYP BOARD WALLS
- ▨ EXISTING CMU WALLS
- - - EXISTING 2-HR FIRE WALL
- WH EXISTING WATER HEATER



1/30/26

**ADD ALTERNATE 2:  
EXISTING LOWER FLOOR PLAN**  
**LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE**

DRAWN BY	PROJECT NO.
BHH	
DATE	DESCRIPTION
01/29/2026	Bid Set
02/13/2026	Addendum 2

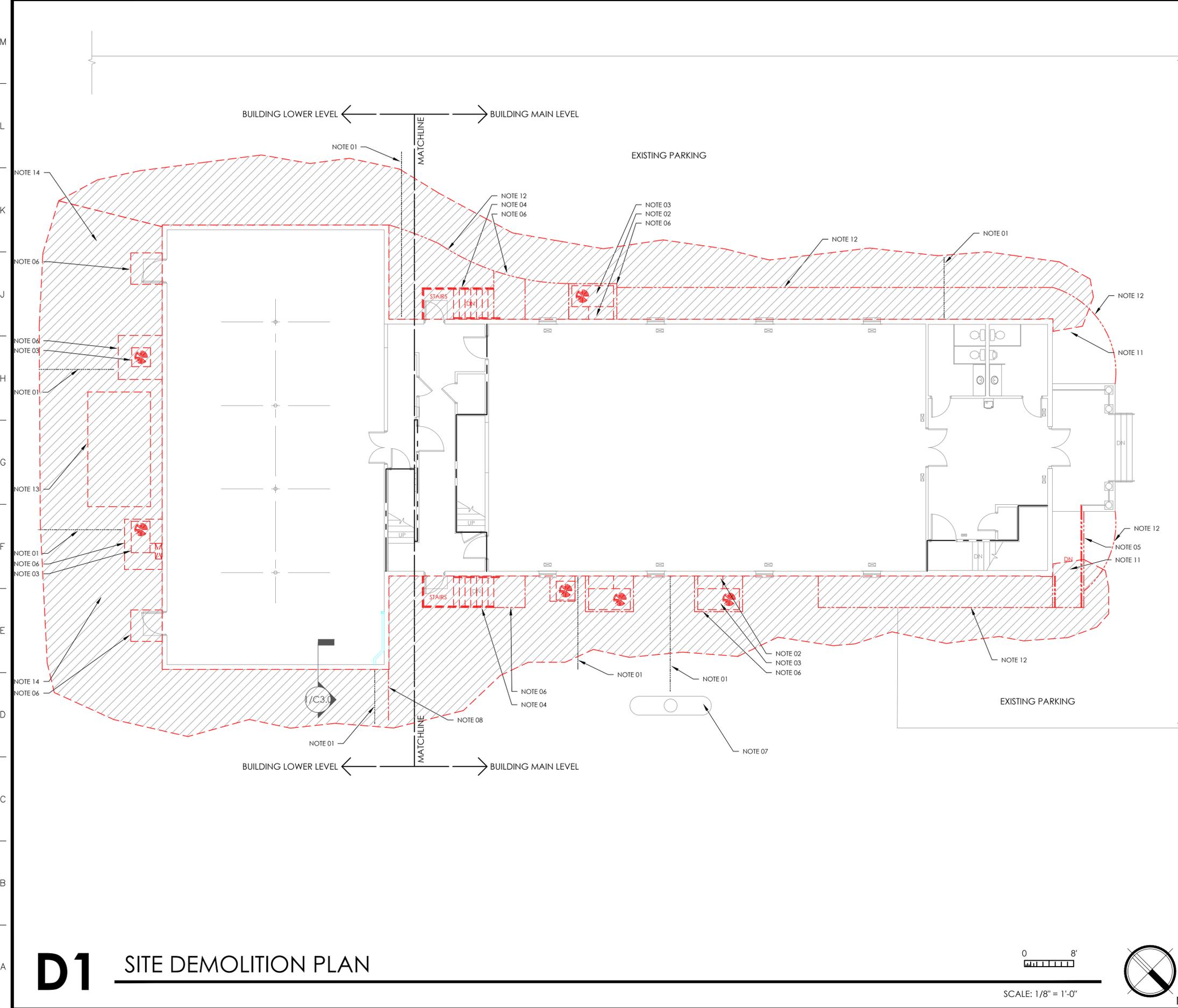
# EX1 EXISTING LOWER FLOOR PLAN



SCALE: 1/8" = 1'-0"



# EX.1A



**PROJECT NOTES**

- 01 LOCATE AND IDENTIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY EXCAVATION. (GAS, WATER, SEWER, ELECTRICAL, ETC.)
- 02 DISCONNECT POWER, GAS, ETC. FROM EACH UNIT. UNCOVER UTILITIES TO EXTENT NEEDED TO PROTECT AND SECURE DURING EXCAVATION. ONCE EXCAVATION IS COMPLETE, REINSTALL UTILITIES AND RECONNECT TO UNITS.
- 03 REMOVE AND STORE EXISTING HVAC UNITS FOR REINSTALLATION.
- 04 REMOVE EXTERIOR METAL STAIRS ON BOTH SIDES OF THE BUILDING. STORE FOR REINSTALLATION.
- 05 DEMOLISH EXISTING ADA RAMP AT FRONT ENTRANCE. INSTALL A NEW ONE WHEN EXCAVATION WORK IS DONE.
- 06 REMOVE CONCRETE BASE PADS AT HVAC UNITS AND CONCRETE LANDINGS AT STAIRS ON NORTH AND SOUTH SIDES OF THE BUILDING.
- 07 PROTECT EXISTING PROPANE TANK DURING DURATION OF EXCAVATION / WATERPROOFING AND CONSTRUCTION OF NEW ADA RAMP TO LOWER LEVEL.
- 08 REMOVE PORTION OF VINYL FENCE.
- 09 INSTALL SEDIMENT AND EROSION CONTROL ON SITE.
- 10 SEE CIVIL DRAWINGS TO DETERMINE EXACT EXTENT OF EXCAVATION TO BE DONE.
- 11 MINIMAL EXCAVATION TO BE DONE IN THIS AREA.
- 12 REMOVE EXISTING LANDSCAPING ON SIDE AND FRONT OF BUILDING AS PART OF EXCAVATION. SAVE CURVED EDGING STONE AND RIVER STONE LANDSCAPING FOR REINSTALLATION.
- 13 REMOVE EXISTING METAL STORAGE SHED AND DISPOSE OF.
- 14 REMOVE EXISTING PAVEMENT, CONCRETE LANDINGS AT REAR DOORS, HVAC UNITS (STORE FOR REINSTALLATION) AND CONCRETE BASE PADS. REPLACE WITH NEW CONCRETE SLAB. COORDINATE EXTENTS AND EXACT LOCATION WITH NEW ADA RAMP. SEE CIVIL.

**GENERAL NOTES**

PROTECT BUILDING SUB-GRADE CMU WALLS AT ALL TIMES DURING EXCAVATION. IF WALLS ARE DAMAGED DURING EXCAVATION, STOP WORK AND CONTACT ARCHITECT IMMEDIATELY. DO NOT START WORK AGAIN UNTIL GIVEN APPROVAL TO DO SO IN WRITING FROM MONTGOMERY COUNTY ENGINEERS OFFICE.

ONCE EXCAVATION IS COMPLETE, CLEAN AND PRESSURE WASH WALL TO REMOVE ALL DIRT, MUD AND DEBRIS FROM CMU AND FOUNDATION.

CONTRACTOR TO DETERMINE EXTENTS OF EXCAVATION OUT FROM FACE OF BUILDING.

UTILITIES SHOWN LABELED NOTE 01 ARE FOR REFERENCE ONLY. THEY ARE NOT INTENDED TO SHOW THE EXACT LOCATION AND ONLY UTILITIES ON SITE.

BEFORE BEGINNING WORK REVIEW AND COORDINATE WITH CIVIL DRAWINGS.

**LEGEND**

- EXISTING BUILDING AND SITE ITEMS TO REMAIN
- - - - - ITEMS TO BE REMOVED AND STORED FOR REINSTALLATION
- ▨ DENOTES AREA TO BE EXCAVATED. (SEE CIVIL FOR EXACT AREA)
- - - - - ITEMS THAT ARE BEING DEMOLISHED
- ⋯ POSSIBLE UTILITY LOCATIONS



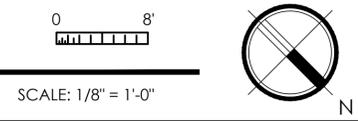
1/30/26

**ADD ALTERNATE #1 - SITE DEMOLITION PLAN**

**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE ROAD**  
**CUNNINGHAM, TENNESSEE**

PROJECT NO.	
DRAWN BY	BHH
DATE	01/29/2026
DESCRIPTION	Bid Set
	02/13/2026
	Addendum 2

**D1 SITE DEMOLITION PLAN**

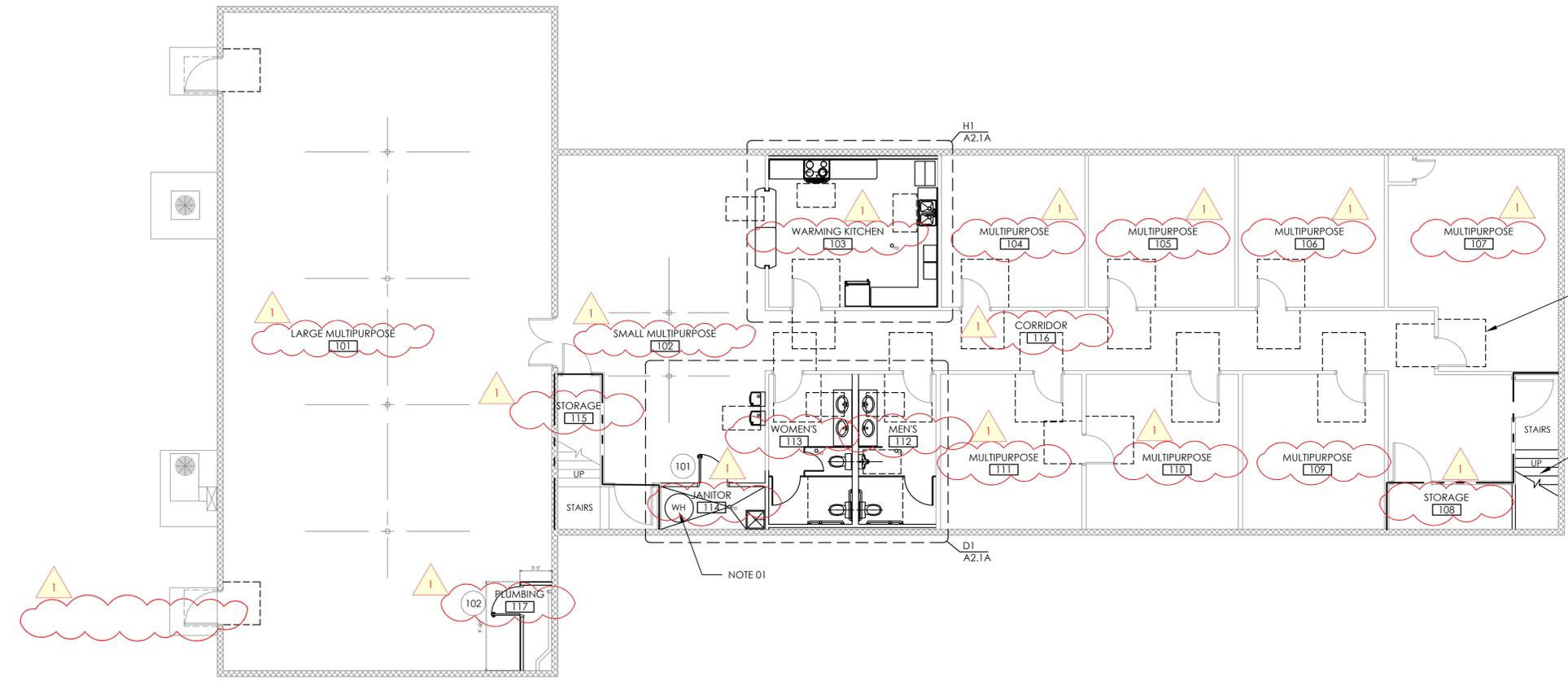


**D.1**

MARK	DOOR		FRAME				FIRE RATING LABEL	HARDWARE SET NUMBER	NOTES	
	SIZE	DOOR KEYNOTE	EL	GLAZING KEYNOTE	FRAME KEYNOTE	EL				HEAD
101	3'-0" x 6'-8" x 1 3/4"	EXISTING	---	---	---	---	---	---	---	EXIST. DOOR
102	3'-0" x 6'-8" x 1 3/4"	EXISTING	---	---	---	---	---	---	---	EXIST. DOOR

DOORS ARE EXISTING DOORS THAT HAVE BEEN STORED FOR REUSE FROM THE UPPER LEVEL. MATCH ALL HARDWARE TO EXISTING.

- ### KEY NOTES
- 01 INCREASE SIZE OF WATER HEATER IF NEEDED.
  - 02 REPLACE DAMAGED WOOD AS NEEDED.
  - 03 ACCESSIBLE CLEARANCE (SEE G0.3A).

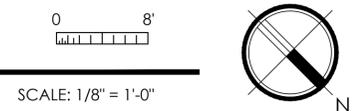


NEW CONSTRUCTION PLAN

- ### GENERAL NOTES
- EXISTING INFORMATION TAKEN FROM LIMITED SITE OBSERVATIONS. FIELD VERIFY LAYOUT & DIMENSIONS PRIOR TO CONSTRUCTION ACTIVITIES. NOTIFY ARCHITECT IF CONDITIONS VARY FROM INFORMATION SHOWN.
  - ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO ANY NEW CONSTRUCTION.
  - REFER TO SHEET A0.1A FOR DOORS AND FRAMES.
  - REFER TO SHEET A0.1A FOR PARTITION TYPES. DETAILS REFERENCED ONCE AS TYPICAL AND SHALL BE APPLIED TO LIKE CONDITIONS.
  - REFER TO SHEET A1.2A FOR REFLECTED CEILING PLAN.
  - REFER TO SHEET A2.1A AND A2.3A FOR ENLARGED PLANS, ELEVATIONS AND DETAILS.
  - REFER TO SHEET A5.1A FOR FLOOR FINISH LAYOUT.
  - REPAIR DAMAGES AS A RESULT OF CONSTRUCTION ACTIVITIES.
  - UNLESS NOTED OTHERWISE, EXIST. LOAD-BEARING STRUCTURE, SUPPORTS, BRACING, SLABS, DECKING & RELATED STRUCTURAL SYSTEMS SHALL REMAIN UNDISTURBED. PROTECT FROM DAMAGE DURING CONSTRUCTION.
  - DASHED LINES AT DOORS, PLUMBING FIXTURES AND KITCHEN EQUIPMENT REPRESENT ADA ACCESSIBLE CLEARANCES. SEE SHEET G0.3A FOR MORE DETAILED INFORMATION.

- ### LEGEND
- (101) DOOR MARKER - SEE SHEET A0.1
  - EXISTING WALLS TO REMAIN
  - NEW WALLS - SEE SHEET A0.1
  - - - EXISTING 1-HR FIRE WALL
  - - - EXISTING 2-HR FIRE WALL
  - WH WATER HEATER

# A1 LOWER LEVEL NEW CONSTRUCTION PLAN



1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
Phone: (931) 553-5113 - www.mcogn.org/engineer



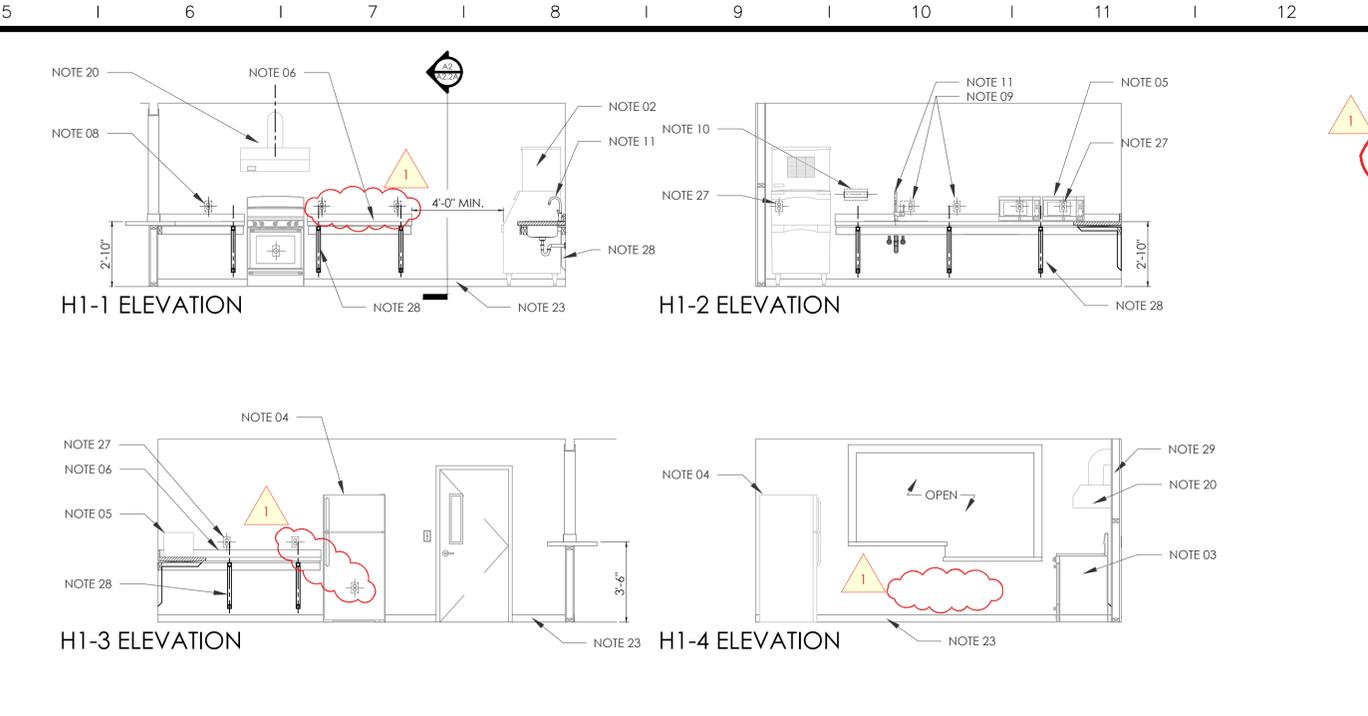
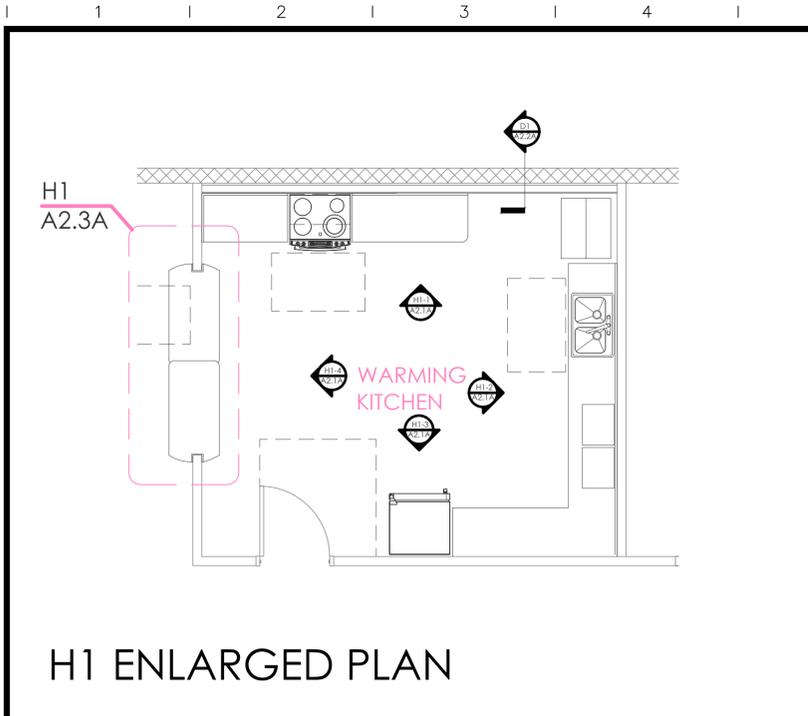
1/30/26

**ADD ALTERNATE 2: LOWER LEVEL NEW CONSTRUCTION PLAN**  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE ROAD**  
**CUNNINGHAM, TENNESSEE**

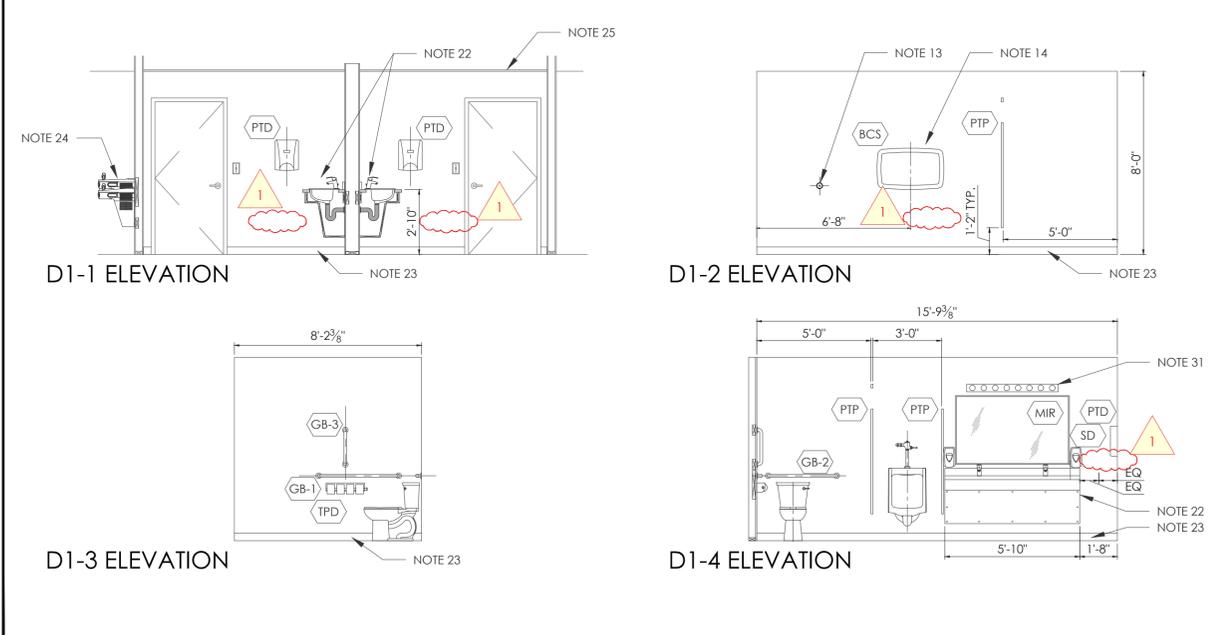
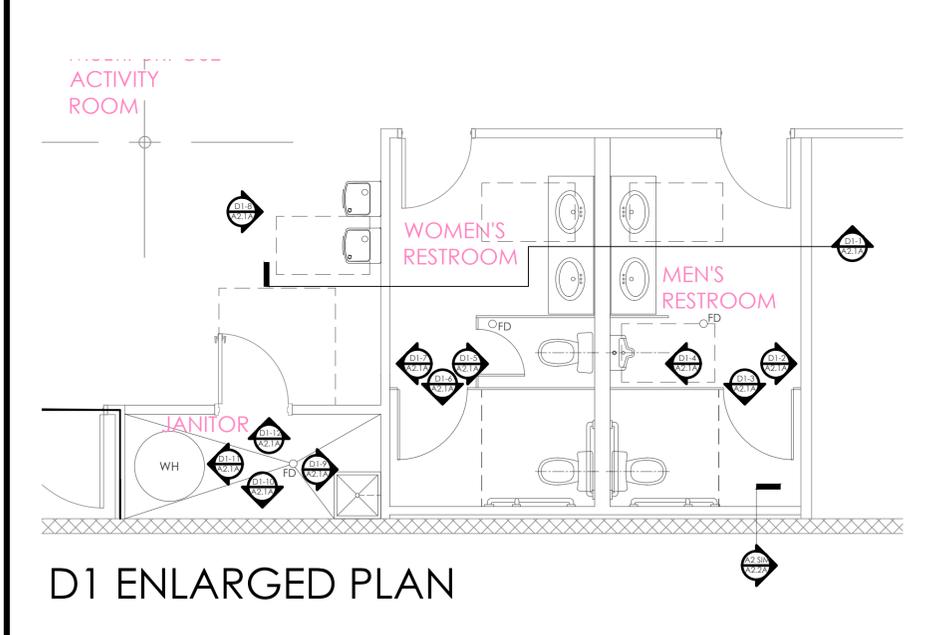
DRAWN BY	PROJECT NO.	DESCRIPTION
BHH		
DATE	Bid Set	Addendum 2
01/29/2026		
02/13/2026		

# A1.1A

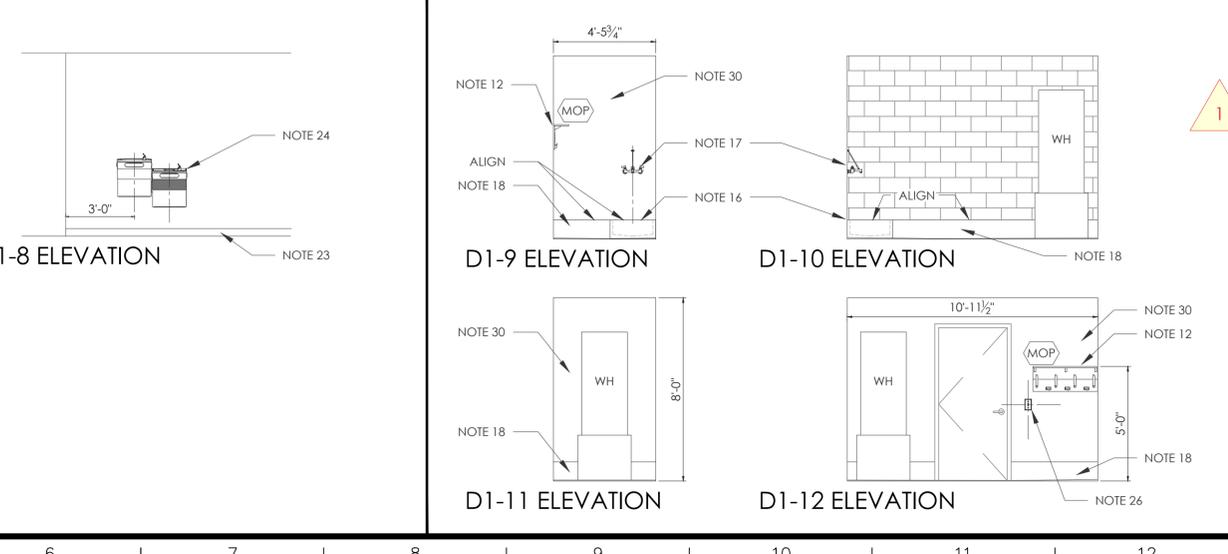
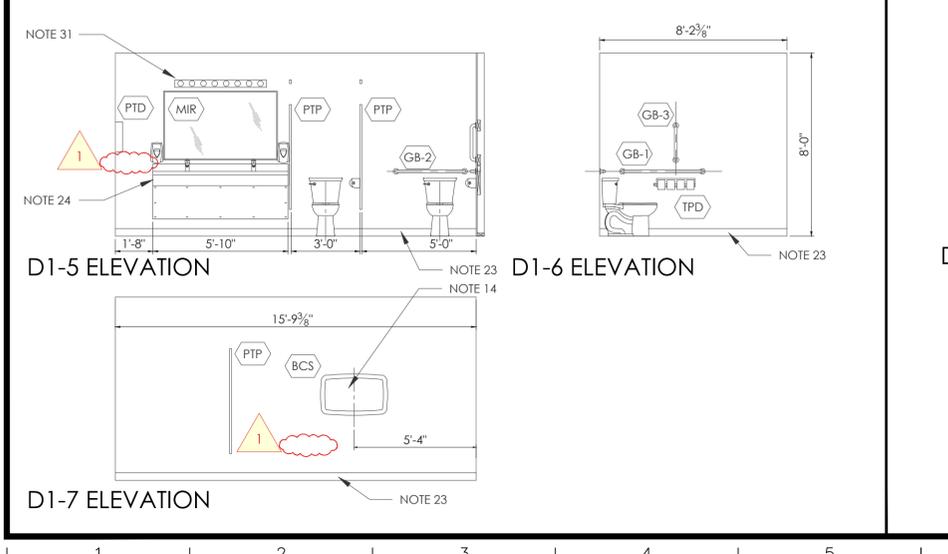




- ### KEYNOTES
- 01 ICE MAKER CONNECTION BOX - REF. PLUMBING DRAWINGS.
  - 02 ICE MAKER OFCI.
  - 03 ELECTRIC RANGE OFCI - REF. ELECTRICAL DRAWINGS.
  - 04 REFRIGERATOR OFCI.
  - 05 MICROWAVE (2) - OFCI.
  - 06 P-LAM COUNTER TOP W/ STEEL COUNTER SUPPORTS & 4 BACKPLASH
  - 07 POWER OUTLETS - GFCI REF. ELECTRICAL DRAWINGS.
  - 08 POWER OUTLETS - STANDARD DUPLEX REF. ELECTRICAL DRAWINGS.
  - 09 EXISTING OUTLET - CONVERT TO GFCI
  - 10 PAPER TOWEL HOLDER / DISPENSER.
  - 11 NEW DOUBLE BASIN SINK W/ PIPING INSULATION TIED INTO EXISTING SUPPLY AND DRAIN LINES
  - 12 SHELF WITH MOP / BROOM HOLDER.
  - 13 DOOR KNOB WALL PROTECTOR.
  - 14 BABY CHANGING STATION (SEE SHEET G0.3A).
  - 15 GRAB BARS (SEE SHEET G0.3A).
  - 16 FLOOR MOP SINK.
  - 17 JANITOR CLOSET PLUMBING FIXTURES.
  - 18 NEW EPOXY FLOORING WITH INTEGRAL EPOXY COVE BASE.
  - 19 NEW FLOORING AND RUBBER BASE (SEE FINISH PLAN).
  - 20 EXHAUST HOOD WITH INTEGRAL ANSUL FIRE SYSTEM.
  - 21 NOT USED
  - 22 PLAIN VANITY WITH TWO (2) DROP-IN SINGLE SINKS.
  - 23 NEW FOUR INCH TALL RUBBER BASE (SEE FINISH FLOOR PLAN)
  - 24 ADA COMPLIANT ELECTRIC WATER COOLERS (SEE SHEET G0.3A).
  - 25 NEW 2x4 ACOUSTICAL CEILING TILES AND GRID
  - 26 LIGHT SWITCH (SEE SHEET G0.3A)
  - 27 EXISTING ELECTRICAL OUTLETS
  - 28 NEW 2x2x4 STEEL TUBE SUPPORT BRACKET, TYPICAL
  - 29 NEW STUD AND GYP BOARD WALL
  - 30 FULL FLOOR TO CEILING FRP WALL COVERING
  - 31 VANITY LIGHT FIXTURE



- ### GENERAL NOTES
- REFER TO SHEET G0.3A - ADA ACCESSIBILITY STANDARDS FOR MOUNTING HEIGHTS & LOCATIONS NOT DIMENSIONED OR CALLED OUT ON THIS SHEET.
- THIS DRAWING SUPERSEDES MECH. & ELEC. FOR LOCATION.
- MECHANICAL & ELECTRICAL ITEMS SHOWN THIS SHEET FOR COORDINATION PURPOSES ONLY - REF. MECH. & ELEC. DWGS. FOR SPECIFIC INFORMATION.
- JANITOR CLOSET WALLS WILL HAVE FULLY ADHERED, FULL HEIGHT, FRP PANELS INSTALLED OVER IT. CMU WALL TO BE PAINTED WITH MOLD AND MOISTURE RESISTANT PAINT. CLOSET CEILING WILL BE MADE WITH GYP BOARD AND PAINTED WITH MOISTURE RESISTANT PAINT.
- ELECTRICAL OUTLETS MOUNTED ON CMU WALLS WILL BE SURFACE MOUNTED WITH EXPOSED CONDUIT SECURED WITH TWO HOLE STRAPS.
- NEW FLOOR DRAIN AND FLOOR SINK DRAIN WILL NEED TO BE INSTALLED IN THE NEW JANITOR CLOSET.
- THE TOILETS IN THE RESTROOMS MAY NEED TO BE RELOCATED TO ALLOW FOR THEM TO BECOME ACCESSIBLE COMPLIANT AND NEW FLOOR DRAINS WILL NEED TO BE PUT INTO THE RESTROOMS AS WELL. THIS WILL CALL FOR THE CONCRETE FLOOR TO BE CUT OUT AND NEW LINES RUN AND TIED INTO THE EXISTING SEWER LINES. THE NEW CONCRETE FLOOR WILL BE TIED INTO THE EXISTING CONCRETE WITH #4 STEEL REBAR DOWELED AT LEAST 4" INTO IT. FINISH CONCRETE LEVEL WITH EXISTING FLOOR.



- ### LEGEND
- FD FLOOR DRAIN
  - ELEVATION MARKER
  - WH WATER HEATER
  - EXISTING CMU WALLS
  - EXISTING STUD WALLS
  - NEW STUD WALLS
  - EXISTING CMU WALLS (ELEVATION)
  - OFCI OWNER FURNISHED CONTRACTOR INSTALLED

- ### TOILET ACCESSORIES LEGEND
- MIR 60" X 36" STAINLESS STEEL FRAME MIRROR
  - GB-1 42" LONG GRAB BAR
  - GB-2 36" LONG GRAB BAR
  - GB-3 18" LONG GRAB BAR
  - WR WASTE RECEPTACLE - OFCI
  - MOP MOP SHELF & HOOKS
  - PTD PAPER TOWEL DISPENSER - OFCI
  - TPD TOILET PAPER DISPENSER - OFCI
  - SD SOAP DISPENSER - OFCI
  - BCS BABY CHANGING STATION - OFCI
  - PTP PHENOLIC TOILET PARTITION



1/30/26

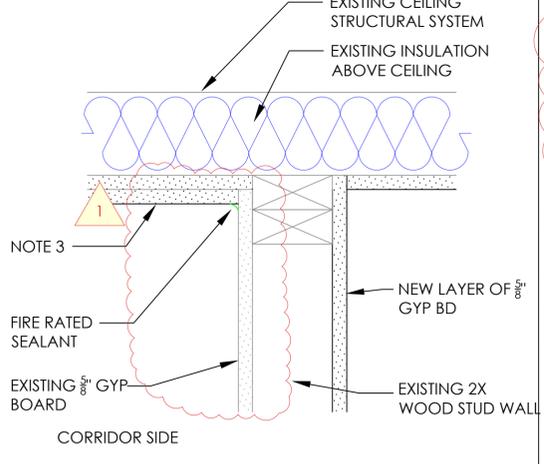
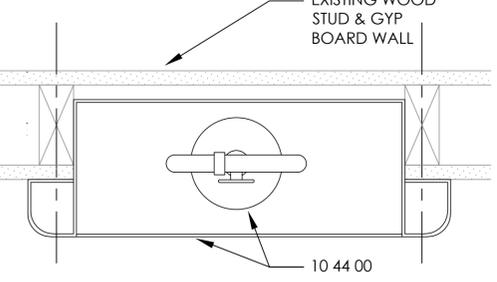
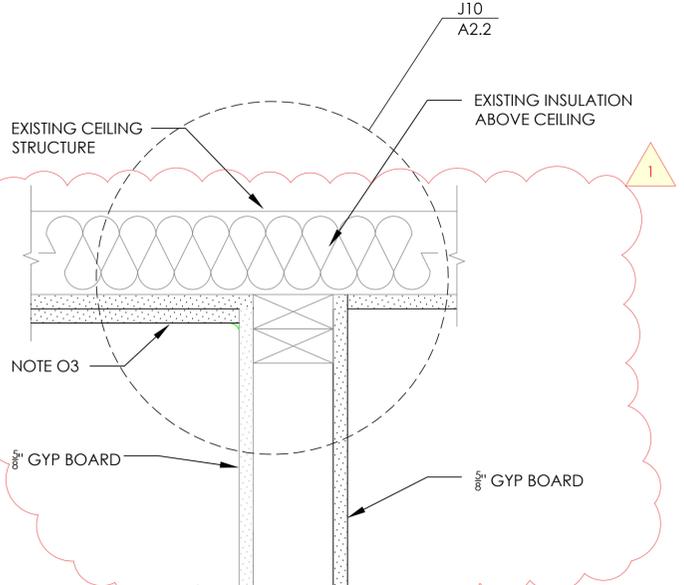
**ADD ALTERNATE #2: LOWER LEVEL ENLARGED PLANS AND ELEVATIONS**

**LOVE OAK COMMUNITY CENTER**  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

PROJECT NO.	DESCRIPTION	DATE
	Bid Set	01/29/2026
	Addendum 2	02/13/2026

DRAWN BY: BHH

**A2.1A**

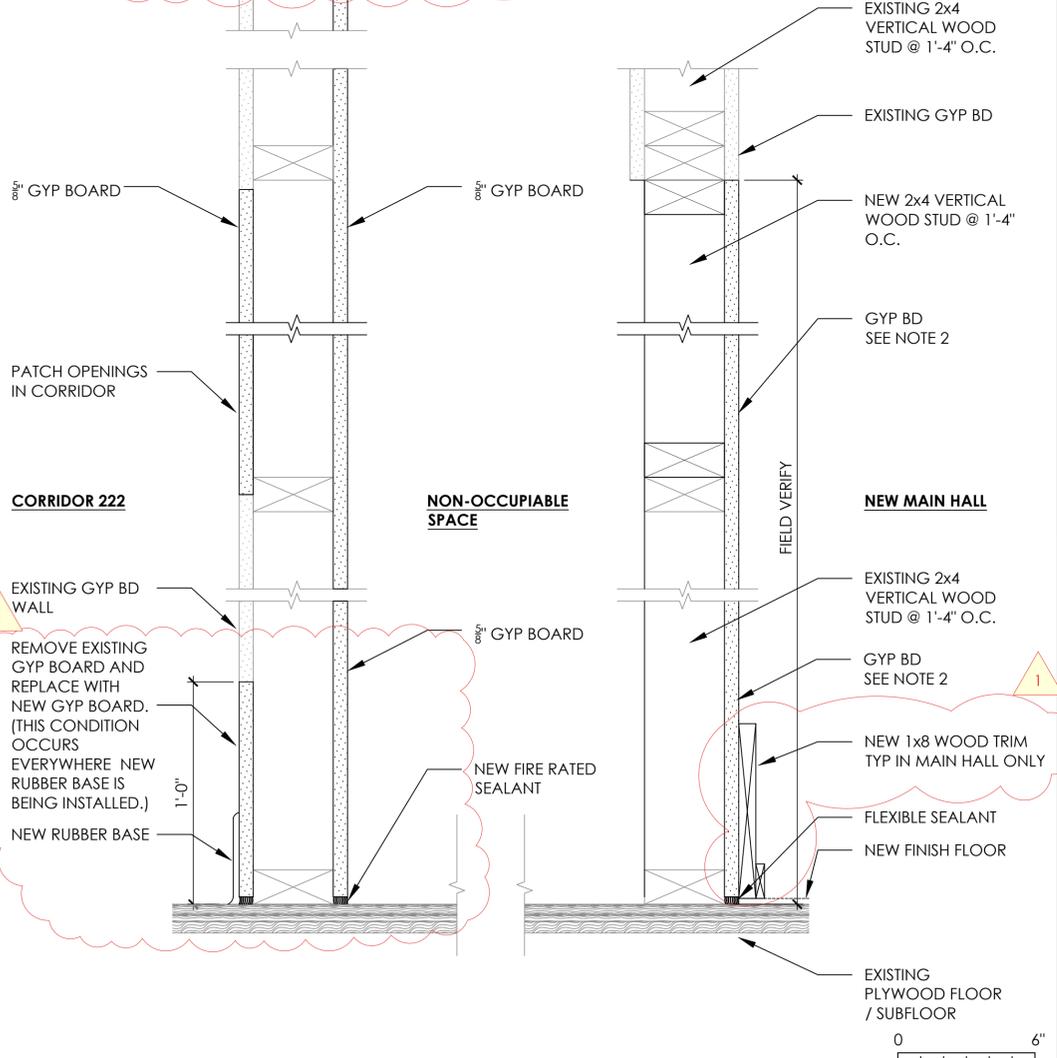


**KEY NOTES**

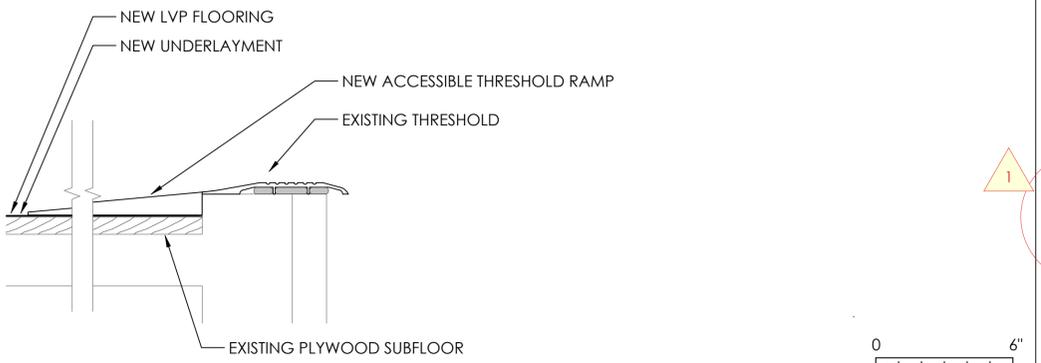
- 01 5/8" GYP BOARD TO BE USED ON FIRE RATED WALLS.
- 02 STANDARD GYP BOARD TO BE USED ON ALL WALLS. MATCH EXISTING THICKNESS.
- 03 INSTALL ONE (1) NEW LAYER OF 5/8" GYP BOARD OVER EXISTING CEILING, PER RC2602.

**J7** SEMI-RECESSED FIRE EXTINGUISHER CABINET  
A0.1 SCALE: 3" = 1'-0"

**J10** CORRIDOR RATED WALLS & CEILING  
A2.2 SCALE: 3" = 1'-0"



BASIS OF DESIGN: EZ EDGE TRANSITION THRESHOLD RAMP 1"H x 9 3/4"W x 82"L



**A1** RATED WALL REPAIRS AND INFILL EXISTING OPENINGS  
A2.1 SCALE: 3" = 1'-0"

**A7** ENTRY THRESHOLD RAMP  
A0.1 SCALE: 3" = 1'-0"

**GENERAL NOTES**

PREP ALL GYPSUM BOARD FINISHES, NEW AND EXISTING, FOR NEW COAT OF PAINT. PREP ALL AREAS PER MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.

INSTALL ONE (1) LAYER OF 5/8" GYP BOARD TO CEILINGS IN REAR CORRIDORS. SEAL ALL CORNER JOINTS WITH FIRE RATED SEALANT.

REMOVE ONE-FOOT (1'-0") OF EXISTING GYP BOARD FROM ALL ROOMS AND AREAS THAT ARE RECEIVING NEW RUBBER BASE TRIM AND REPLACE WITH NEW GYP BOARD.

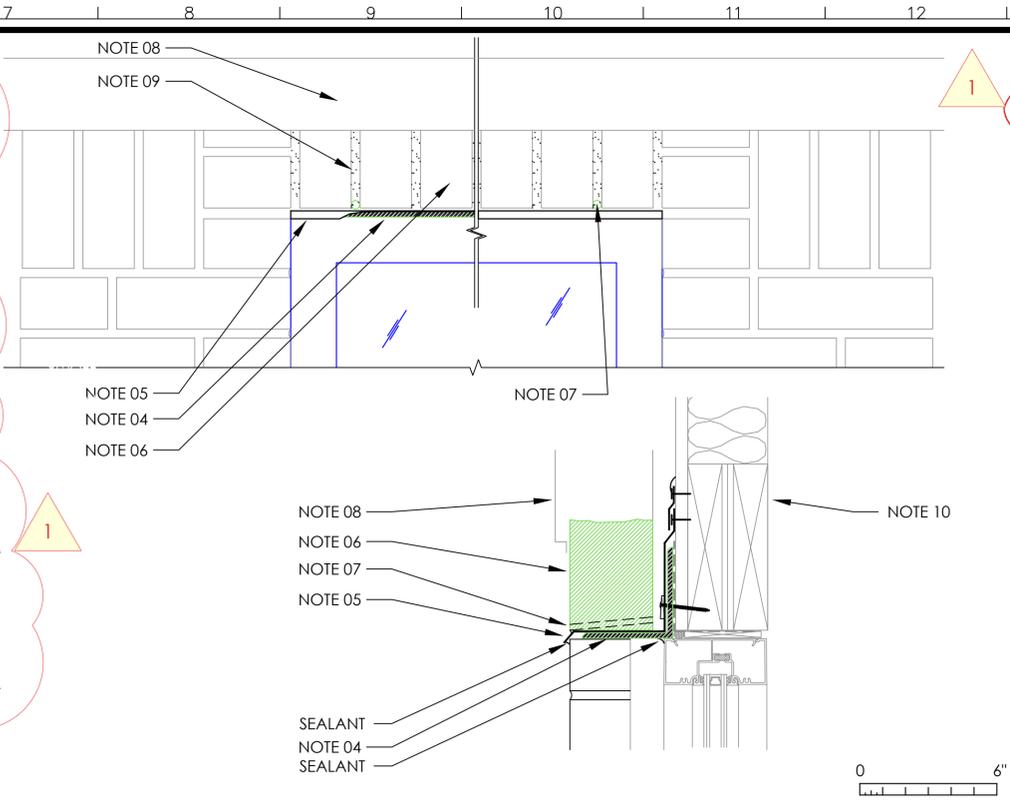
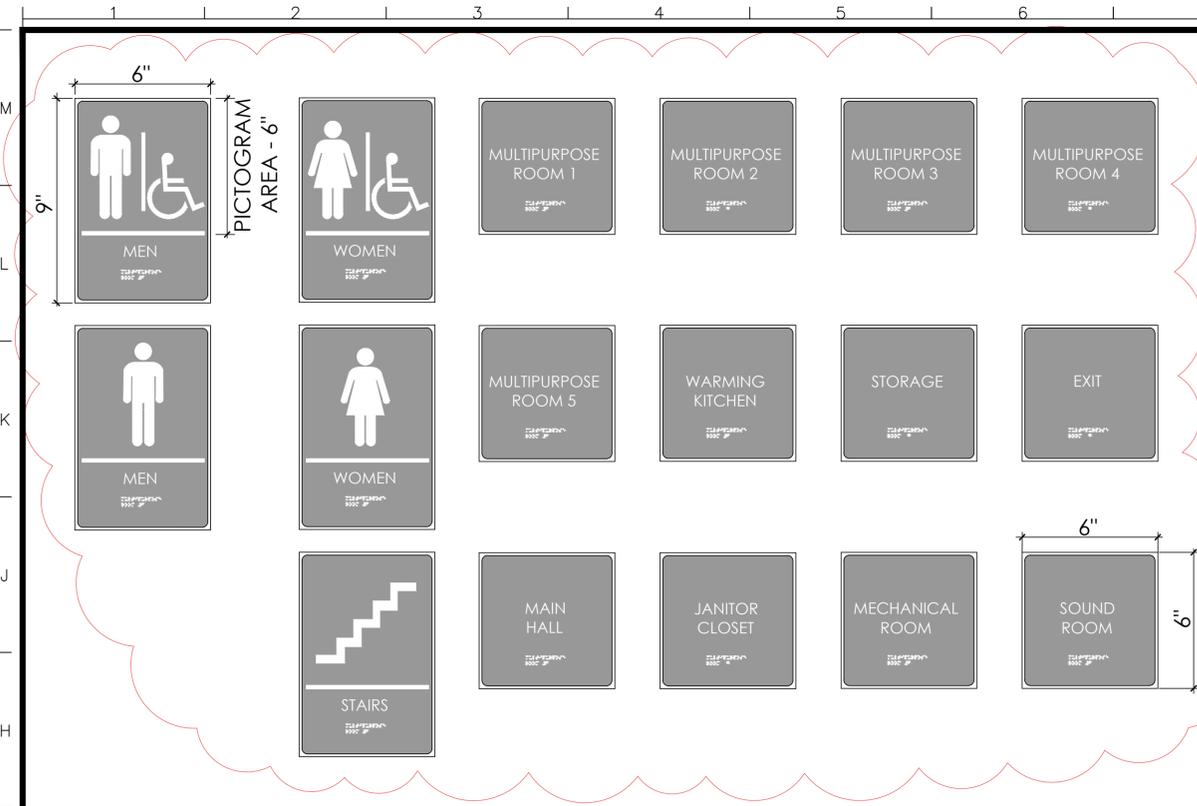


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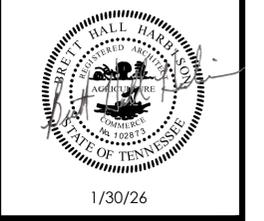
SECTIONS AND DETAILS  
LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

PROJECT NO.	
DESCRIPTION	
Bid Set	Addendum 2
DATE	01/29/2026
	02/13/2026

**A2.2**



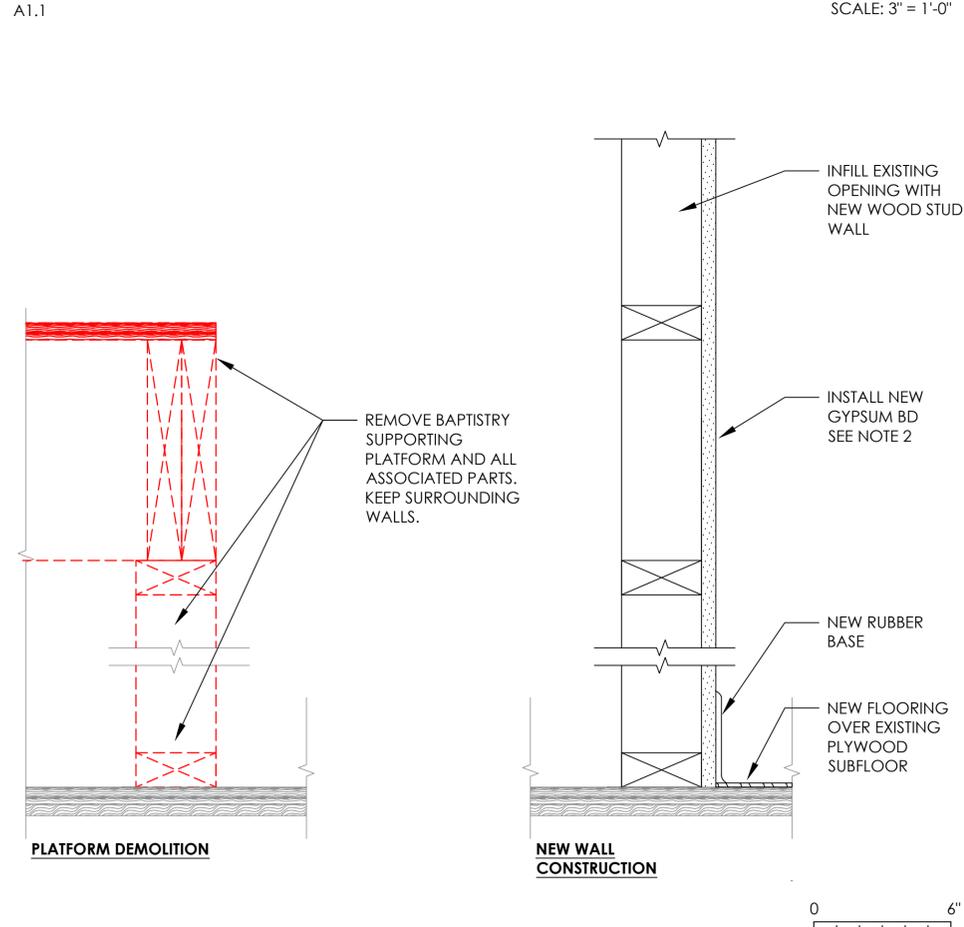
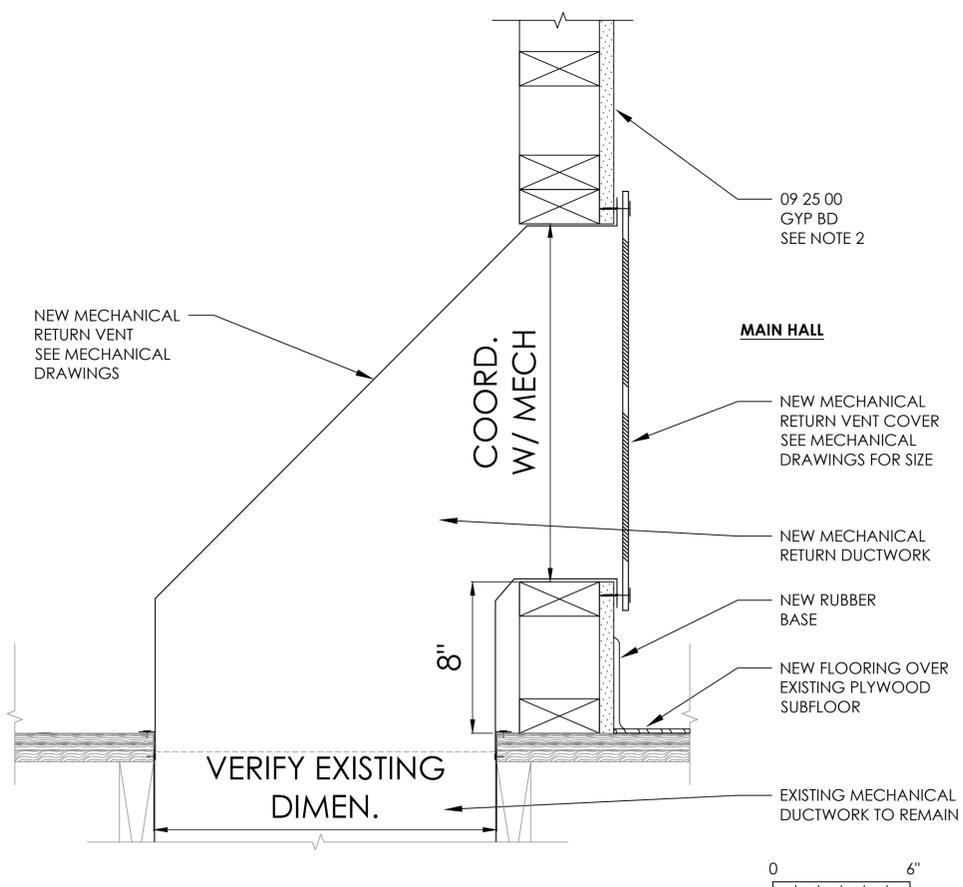
- ### KEY NOTES
- 01 5/8" GYP BOARD TO BE USED ON FIRE RATED WALLS ONLY.
  - 02 STANDARD GYP BOARD TO BE USED ON ALL NON-RATED WALLS. MATCH EXISTING THICKNESS.
  - 03 KEEP SURROUNDING WALLS AT BAPTISTRY.
  - 04 1/4" x 1/4" x 4" STEEL ANGLE. DETERMINE LENGTH IN FIELD. PAINT STEEL TO MATCH SURROUNDING TRIM.
  - 05 INSTALL NEW FLASHING AT BRICK REPAIR.
  - 06 REUSE EXISTING BRICK.
  - 07 INSTALL NEW WEEPS EVERY THIRD BRICK.
  - 08 REPAIR / REPLACE ALL TRIM DAMAGED DURING THIS REPAIR.
  - 09 MATCH COLOR OF NEW MORTAR / GROUT TO EXISTING. FINISH TO MATCH EXISTING LOOK AND STYLE.
  - 10 EXISTING STUD WALL. VERIFY EXISTING CONDITIONS.
  - 11 SEE SIGNAGE MOUNTING REQUIREMENTS ON G0.3



1/30/26

## G1 SIGNAGE

## G7 BRICK HEADER REPAIR



- ### GENERAL NOTES
- REPAIR, CLEAN AND PREP ALL GYPSUM BOARD FINISHES, NEW AND EXISTING, FOR NEW PAINT. PREP ALL AREAS PER MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.

### SECTIONS AND DETAILS

LONE OAK COMMUNITY CENTER  
 4445 LOUISE ROAD  
 CUNNINGHAM, TENNESSEE

## A1 RATED WALL REPAIRS AND INFILL EXISTING OPENINGS

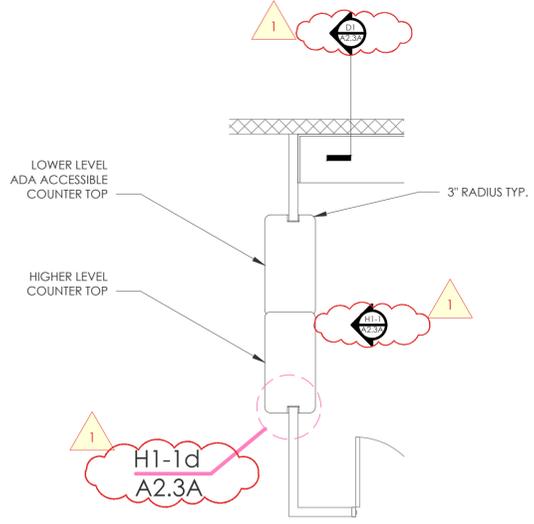
## A7 PLATFORM DEMO AND INFILL WALL AT BAPTISTRY

PROJECT NO.	DESCRIPTION
BHH	Bid Set
01/29/2026	02/13/2026
	Addendum 2

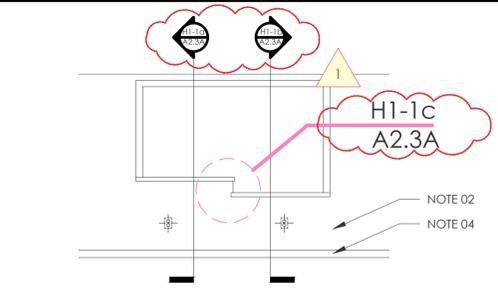
# A2.3

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

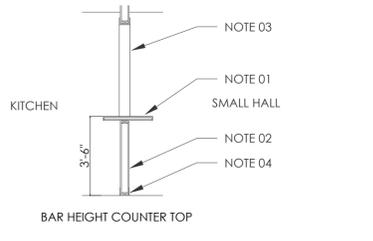
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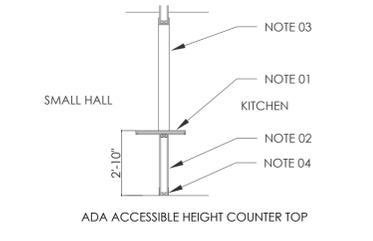
H1 ENLARGED PLAN



H1-1 ELEVATION



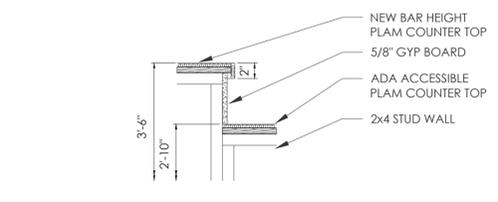
H1-1a SECTION



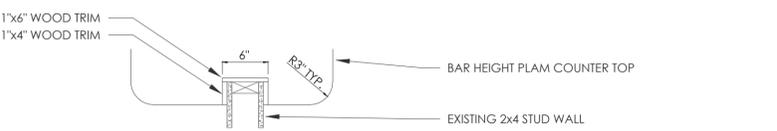
H1-1b SECTION

KEYNOTES

- 01 P-LAM COUNTER TOP
- 02 EXISTING WALL
- 03 WOOD TRIM
- 04 NEW RUBBER BASE



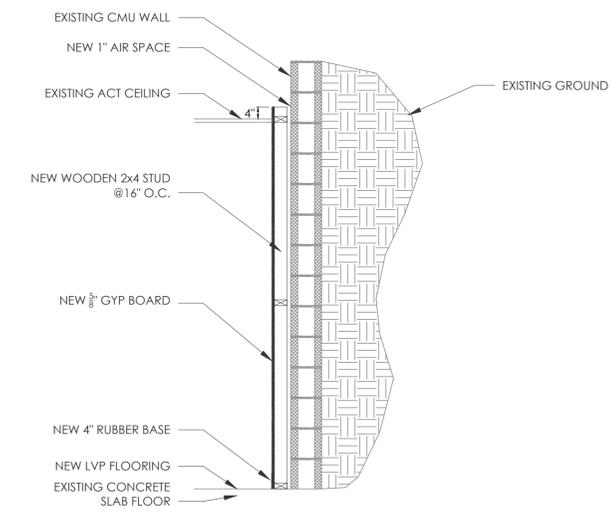
H1-1c DETAIL



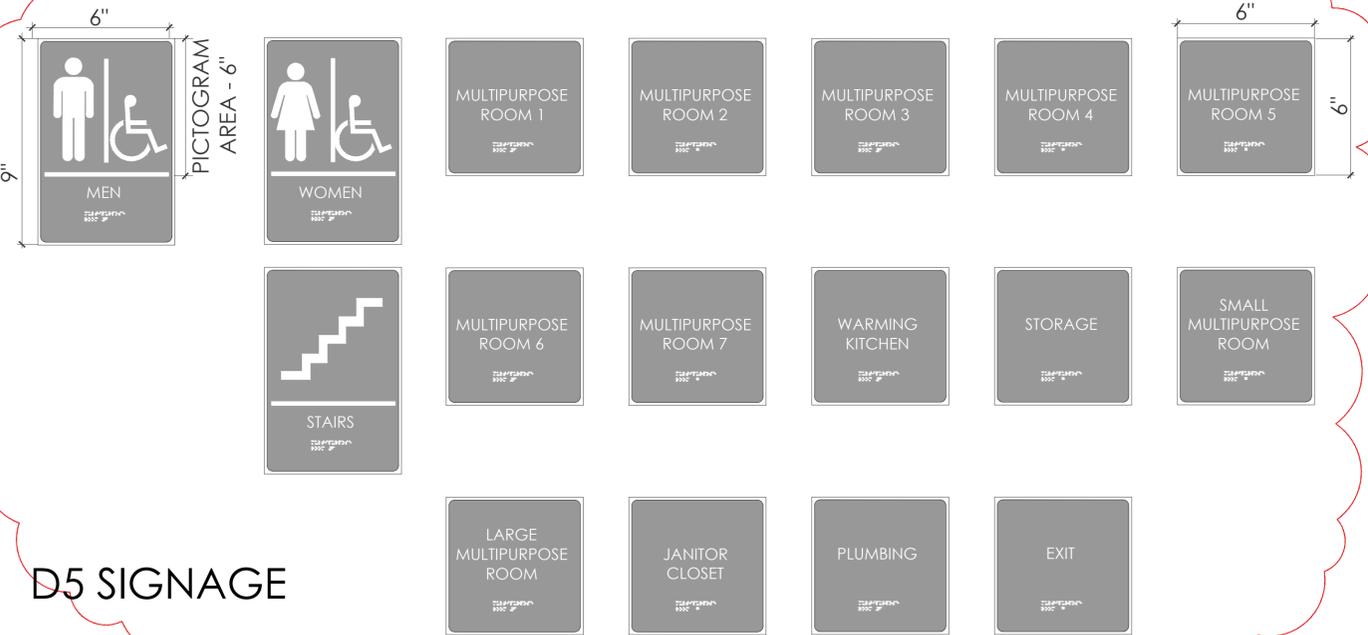
H1-1d DETAIL

GENERAL NOTES

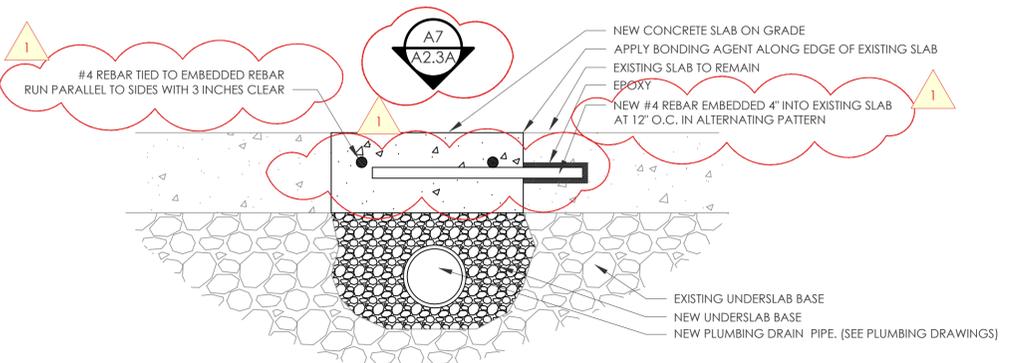
- REFER TO SHEET G0.3A - ACCESSIBILITY STANDARDS FOR MOUNTING HEIGHTS & LOCATIONS NOT DIMENSIONED OR CALLED OUT ON THIS SHEET.
- REPLACE TRIM AROUND KITCHEN WINDOW COUNTER WITH NEW WOOD TRIM, 1X FLAT STOCK, NUMBER 1 PINE.



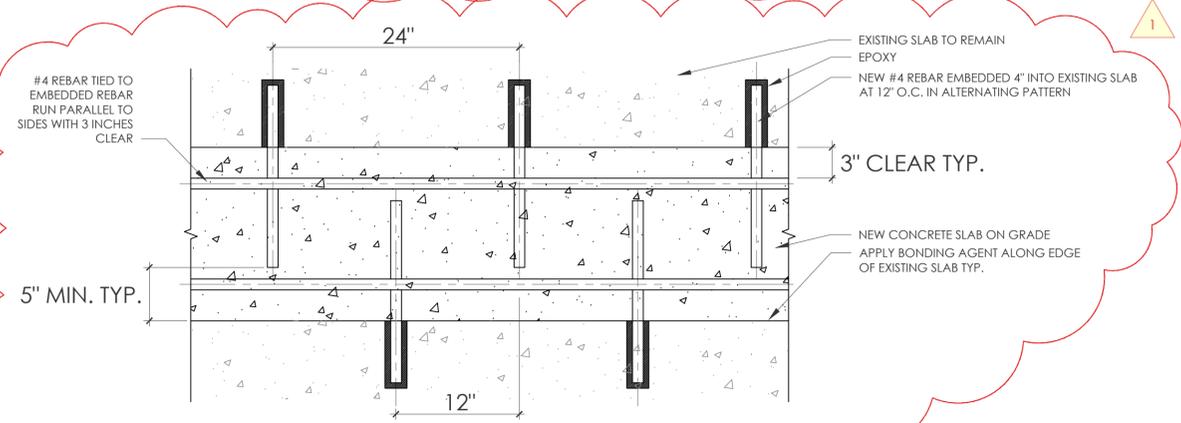
D1 WALL SECTION



D5 SIGNAGE



A1 NEW DRAIN LINE FLOOR SECTION



A7 NEW DRAIN LINE PLAN



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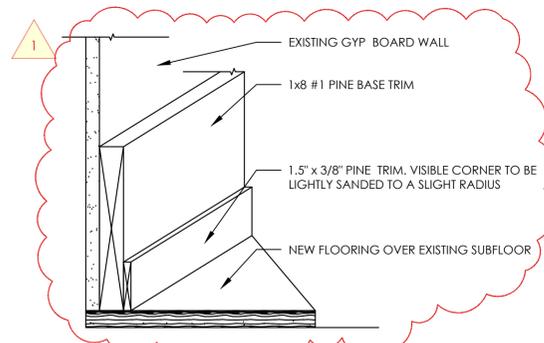


1/30/26

ADD ALTERNATE 2: LOWER LEVEL ENLARGED PLANS, ELEVATIONS AND DETAILS  
LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

PROJECT NO.	
DRAWN BY	BHH
DATE	01/29/2026
DESCRIPTION	Bid Set
	02/13/2026
	Addendum 2

A2.3A



ROOM FINISH SCHEDULE									
ROOM NAME	ROOM NUMBER	FLOOR	BASE	WALLS	CEILING	MATERIAL NAME	SPEC SECTION	REMARKS	
FRONT PORCH	200					LUXURY VINYL PLANK	09 65 00		
ENTRY FOYER	201					EPOXY FLOORING	09 67 00	NOTE 03	
CLOSET	201A					RESILIENT VINYL BASE	09 65 00		
MEN'S RESTROOM	202					EPOXY FLOORING INTEGRAL COVE BASE	09 67 00	NOTE 03	
WOMEN'S RESTROOM	203					1X8 #1 PINE OR BETTER W/ 1.5"X3/8" FLAT TRIM		SEE DETAIL	
STAIRS - NC	204					INTERIOR LATEX EGG-SHELL	09 91 00		
MAIN HALL	205					FRP PANELS - TYPE 01	06 83 00		
SOUND ROOM	206					INTERIOR LATEX EGG-SHELL	09 91 00	MOISTURE/MILDEW RESIST	
NOT USED	207					INTERIOR LATEX EGG-SHELL	09 91 00	MOISTURE/MILDEW RESIST	
JANITOR	208					FAUX WOOD BEAMS			
STAIRS - NC	209								
MECHANICAL	210								
STORAGE	211								
MEN'S RESTROOM	212								
WOMEN'S RESTROOM	213								
STORAGE	214								
MULTIPURPOSE	215								
MULTIPURPOSE	216								
MULTIPURPOSE	217								
WARMING KITCHEN	218								
MULTIPURPOSE	219								
MULTIPURPOSE	220								
CORRIDOR	221								
CORRIDOR	222								
CORRIDOR	223								
CORRIDOR	224								

**PROJECT NOTES**

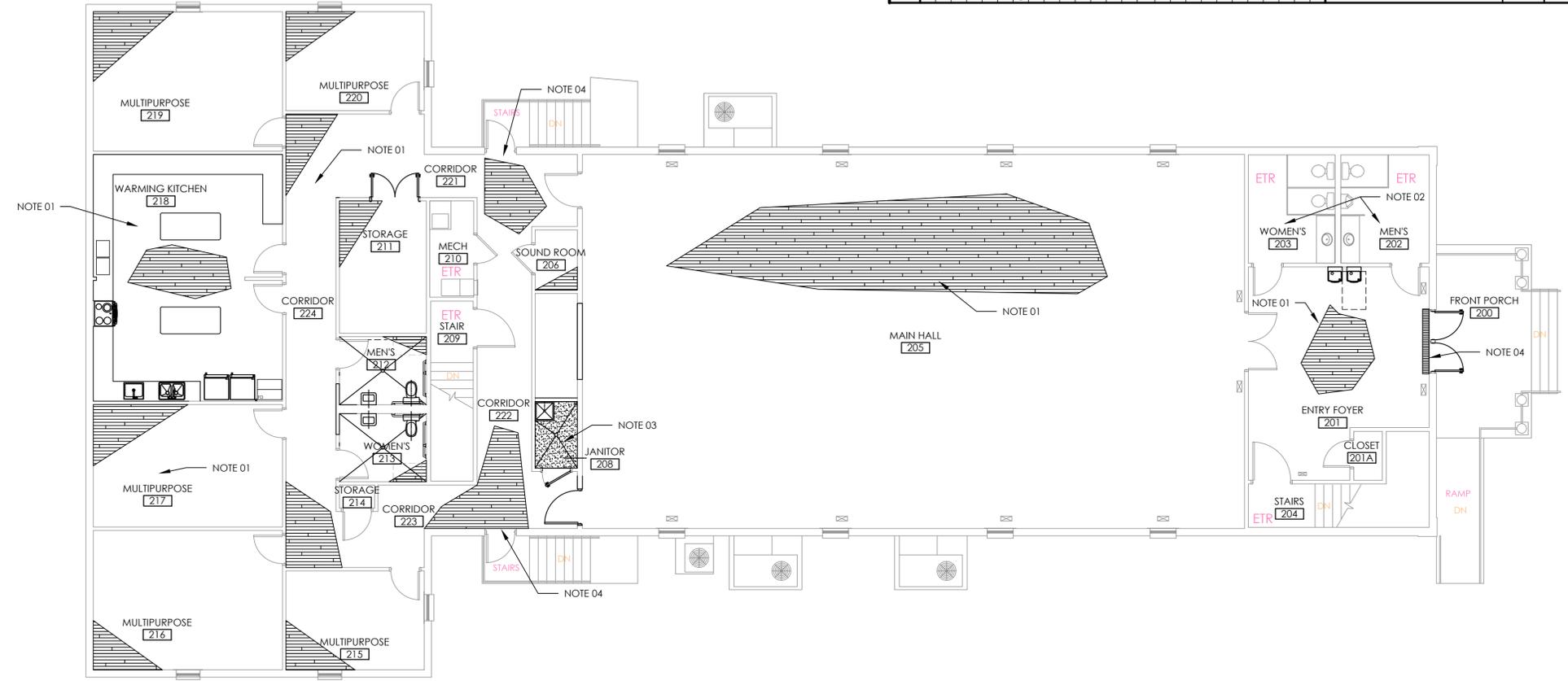
- 01 INSTALL NEW LUXURY VINYL PLANK (LVP) THROUGHOUT UPPER FLOOR.
- 02 NO NEW FLOORING WILL BE INSTALLED IN THE FRONT RESTROOMS OR THE MECHANICAL ROOM.
- 03 INSTALL NEW EPOXY FLOORING WITH INTEGRAL COVE BASE.
- 04 INSTALL NEW TRANSITION THRESHOLD RAMP

**GENERAL NOTES**

- PREP ALL SUBFLOOR AREAS BY REMOVING ANY AND ALL POPPED UP NAILS, REPLACING THEM WITH SCREWS.
- LEVEL SUBFLOOR AS MUCH AS POSSIBLE, EVEN USING A SELF-LEVELING COMPOUND FOR LARGER AREAS.
- REPLACE ALL DAMAGED AREAS OF THE SUBFLOOR.
- SAND DOWN ANY SUBFLOOR JOINTS THAT AREN'T LEVEL.
- ALLOW ALL NEW MATERIALS TO ACCLIMATE TO BUILDING PRIOR TO INSTALLATION.
- DO FINAL CLEANING OF FLOOR PRIOR TO INSTALLING NEW LVP.
- PROTECT NEWLY INSTALLED LVP TO KEEP IT FROM BEING DAMAGED BY BEING WALKED ON AND MOVING / INSTALLING EQUIPMENT.

**LEGEND**

- NEW LUXURY VINYL PLANK (LVP) FLOORING
- NEW EPOXY FLOORING WITH WALL BASE AND INTEGRAL COVE
- ETR EXISTING TO REMAIN
- FLOOR REGISTER
- NEW TRANSITION THRESHOLD RAMP



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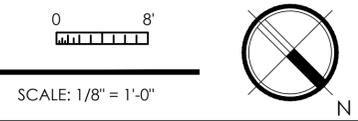
1/30/26

**FINISH FLOOR PLAN**  
LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

PROJECT NO.	
DRAWN BY	BHH
DATE	01/29/2026
DESCRIPTION	Bid Set
	02/13/2026
	Addendum 2

**A5.1**

**A5** FINISH FLOOR PLAN



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ROOM FINISH SCHEDULE												
ROOM NAME	ROOM NUMBER	FLOOR	BASE	WALLS	CEILING	MATERIAL NAME	SPEC SECTION	REMARKS				
LARGE MULTIPURPOSE	101	●	●	●	●	LUXURY VINYL PLANK						
SMALL MULTIPURPOSE	102	●	●	●	●	EPOXY FLOORING						
WARMING KITCHEN	103	●	●	●	●	EXPOSED CONCRETE						
MULTIPURPOSE	104	●	●	●	●	RESILIENT VINYL BASE						
MULTIPURPOSE	105	●	●	●	●	EPOXY FLOORING INTEGRAL COVE BASE						
MULTIPURPOSE	106	●	●	●	●	1X8 #1 PINE OR BETTER W/ 1.5X3/8" FLAT TRIM		SEE DETAIL				
MULTIPURPOSE	107	●	●	●	●	INTERIOR LATEX EGG-SHELL						
STORAGE	108	●	●	●	●	FRP PANELS - TYPE 01						
MULTIPURPOSE	109	●	●	●	●	INTERIOR LATEX EGG-SHELL						
MULTIPURPOSE	110	●	●	●	●	ACT IN SUSPENDED GRID						
MULTIPURPOSE	111	●	●	●	●	INTERIOR LATEX EGG-SHELL						
MEN'S RESTROOM	112	●	●	●	●							
WOMEN'S RESTROOM	113	●	●	●	●							
JANITOR	114	●	●	●	●							
STORAGE	115	●	●	●	●							
CORRIDOR	116	●	●	●	●							
PLUMBING	117	●	●	●	●							
STAIR	204	●	●	●	●							
STAIR	209	●	●	●	●							

**KEY NOTES**

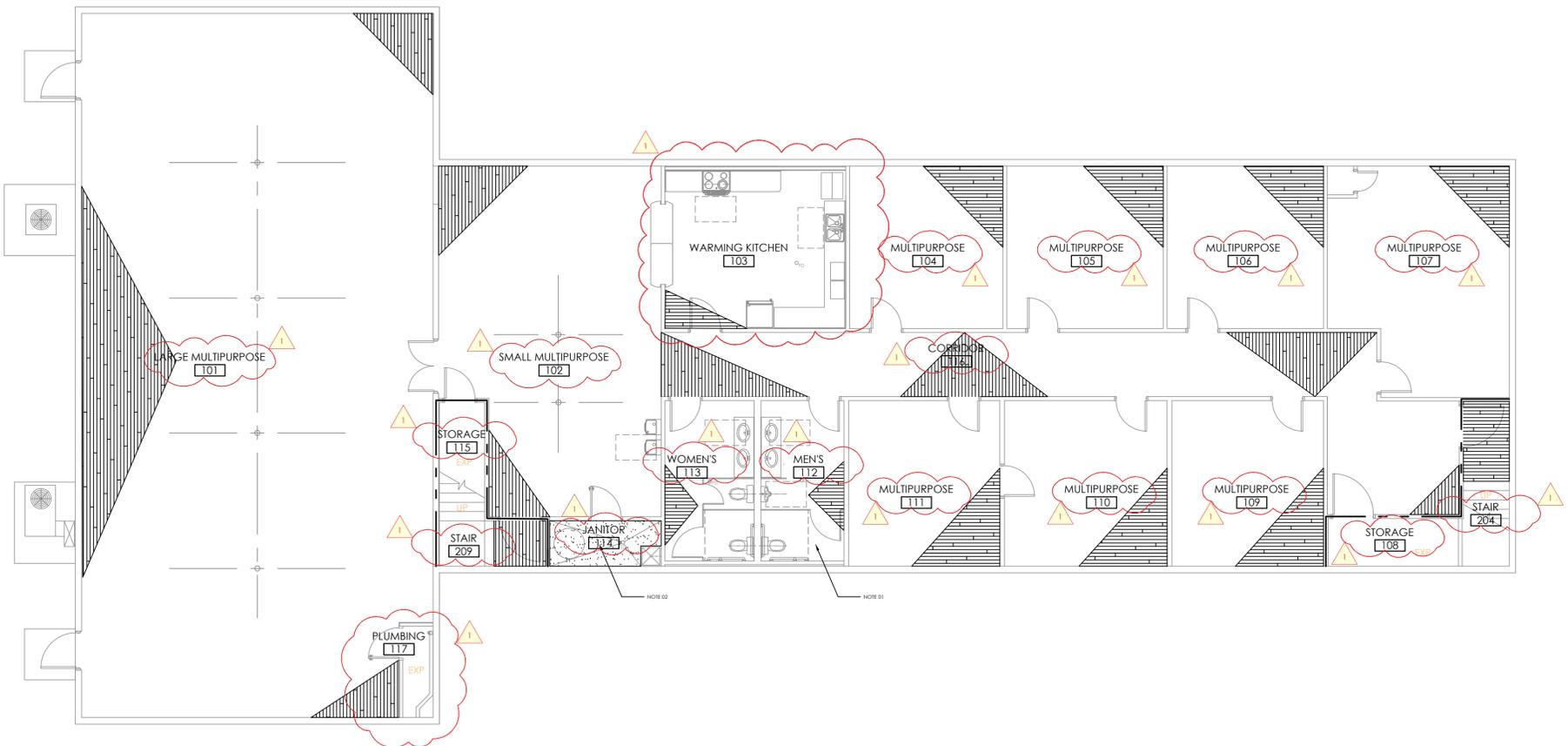
- 01 NEW FLOORING WILL BE INSTALLED IN THE RESTROOMS.
- 02 INSTALL NEW EPOXY FLOORING WITH INTEGRAL COVE BASE IN THE NEW JANITOR CLOSET.

**GENERAL NOTES**

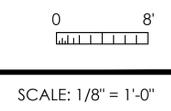
- INSTALL NEW LUXURY VINYL PLANK (LVP) THROUGHOUT LOWER LEVEL UNLESS NOTED OTHERWISE.
- LEVEL CONCRETE SLAB SUBFLOOR AS MUCH AS POSSIBLE, EVEN USING A SELF-LEVELING COMPOUND FOR LARGE AREAS.
- FILL, PATCH OR REPLACE ALL DAMAGED AREAS OF THE SUBFLOOR.
- ALLOW ALL NEW MATERIALS TO ACCLIMATE TO BUILDING PRIOR TO INSTALLATION.
- PROTECT NEWLY INSTALLED LVP TO KEEP IT FROM BEING DAMAGED BY BEING WALKED ON AND MOVING / INSTALLING EQUIPMENT.
- ALLOW NEW CONCRETE FLOOR TO FULLY CURE BEFORE INSTALLING NEW FLOORING, TOILET FIXTURES AND EQUIPMENT.

**LEGEND**

- EXP EXPOSED CONCRETE FLOOR
- FD FLOOR DRAIN
- WOOD PLANK LVP
- EPOXY FLOORING



**A5 LOWER LEVEL NEW FINISH PLAN**



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1/30/26

**ADD ALTERNATE 2: LOWER LEVEL NEW FINISH PLAN**  
**LONE OAK COMMUNITY CENTER**  
**4445 LOUISE ROAD**  
**CUNNINGHAM, TENNESSEE**

DRAWN BY	BHH	PROJECT NO.	
DATE	01/29/2026	DESCRIPTION	Bid Set
	02/13/2026		Addendum 2

**A5.1A**

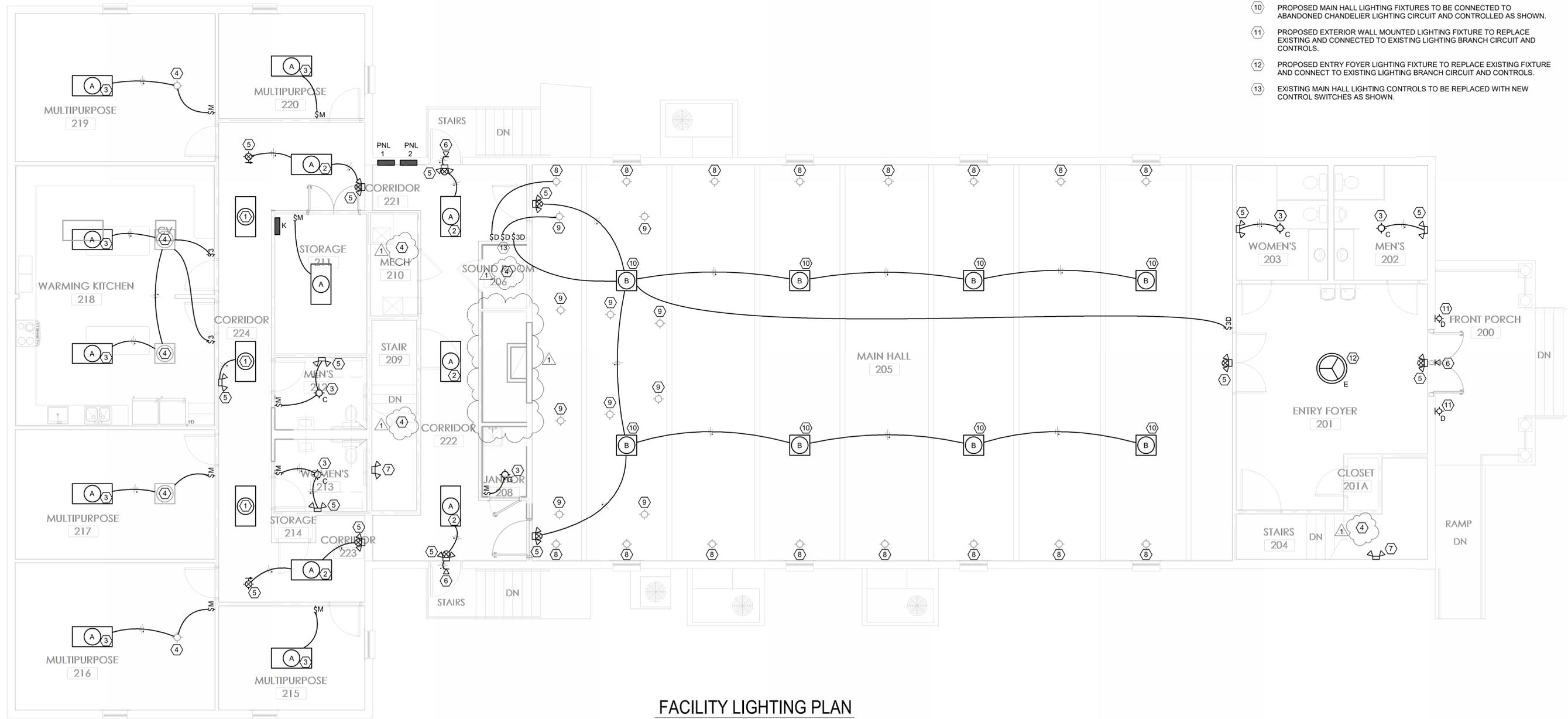


**LIGHTING NOTES:**

- #1- MINIMUM CONDUCTOR SIZE FOR HOME RUNS SHALL BE #12 AWG IN 3/4" UNLESS NOTED OTHERWISE.
- #2- SEE SHEET E-1 FOR LUMINAIRE SCHEDULE AND LIGHTING DETAILS.
- #3- CONNECT ALL EMERGENCY EGRESS FIXTURES AND EXIT SIGNS AHEAD OF ANY LIGHTING CONTROL DEVICES.
- #4- ALL EXISTING LIGHTING FIXTURES TO REMAIN ARE TO BE RE-LAMPED WITH LINE VOLTAGE LED LAMPS.

**LIGHTING NOTES BY SYMBOL:**

- ① RELOCATED EXISTING LIGHTING FIXTURE. CONNECT TO EXISTING CORRIDOR LIGHTING BRANCH CIRCUIT.
- ② NEW LIGHTING FIXTURE TO BE CONNECTED TO EXISTING CORRIDOR LIGHTING BRANCH CIRCUIT AND CONTROLS.
- ③ NEW LIGHTING FIXTURE TO BE CONNECTED TO EXISTING AREA LIGHTING BRANCH CIRCUIT AND ANY REMAINING LIGHTING FIXTURES IN THAT ROOM/AREA.
- ④ EXISTING LIGHT FIXTURE TO REMAIN.
- ⑤ PROPOSED EMERGENCY/EGRESS LIGHTING FIXTURE TO BE CONNECTED TO EXISTING AREA LIGHTING BRANCH CIRCUIT AHEAD OF ANY LIGHTING CONTROL DEVICES.
- ⑥ PROPOSED EXTERIOR EMERGENCY/EGRESS LIGHTING FIXTURE TO BE CONNECTED TO ADJACENT INTERIOR EMERGENCY/EXIT FIXTURE BRANCH CIRCUIT.
- ⑦ PROPOSED EMERGENCY LIGHTING FIXTURE TO REPLACE EXISTING STAIRS EMERGENCY LIGHTING FIXTURE.
- ⑧ EXISTING MAIN HALL SOFFIT LIGHTING FIXTURES TO BE CONTROLLED AS SHOWN.
- ⑨ EXISTING MAIN HALL DOWNLIGHTS TO BE CONTROLLED AS SHOWN.
- ⑩ PROPOSED MAIN HALL LIGHTING FIXTURES TO BE CONNECTED TO ABANDONED CHANDELIER LIGHTING CIRCUIT AND CONTROLLED AS SHOWN.
- ⑪ PROPOSED EXTERIOR WALL MOUNTED LIGHTING FIXTURE TO REPLACE EXISTING AND CONNECTED TO EXISTING LIGHTING BRANCH CIRCUIT AND CONTROLS.
- ⑫ PROPOSED ENTRY FOYER LIGHTING FIXTURE TO REPLACE EXISTING FIXTURE AND CONNECT TO EXISTING LIGHTING BRANCH CIRCUIT AND CONTROLS.
- ⑬ EXISTING MAIN HALL LIGHTING CONTROLS TO BE REPLACED WITH NEW CONTROL SWITCHES AS SHOWN.



**FACILITY LIGHTING PLAN**  
3/16" = 1'-0"

FACILITY LIGHTING PLANS

LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

DRAWN BY	PROJECT NO.	25-258963
	MLM	
DATE	DESCRIPTION	
	02/13/26	ADDENDUM #2

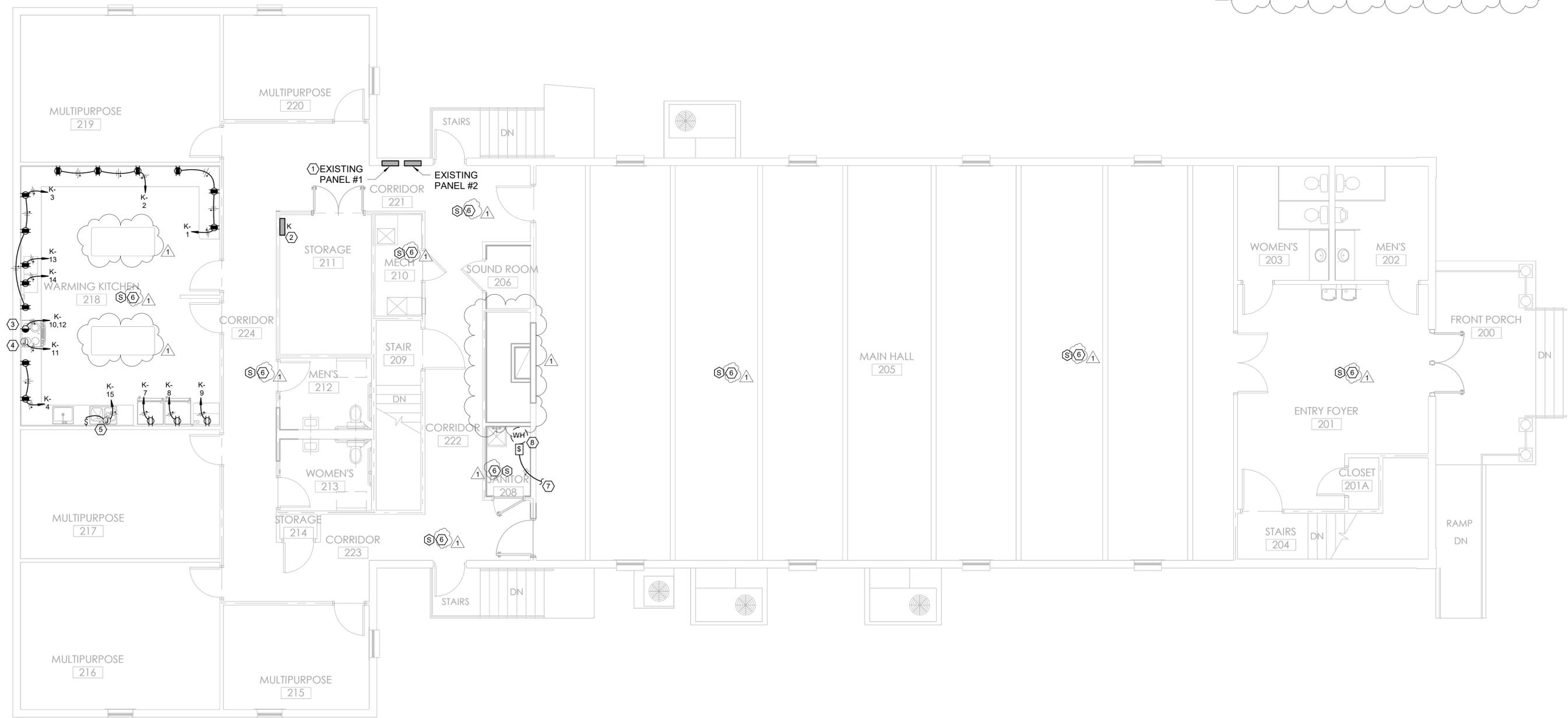


**GENERAL POWER NOTES:**

- #1- VERIFY EXACT LOCATIONS AND POINTS OF CONNECTION TO ALL MECHANICAL EQUIPMENT BEFORE CONDUIT ROUGH-IN.
- #2- SEE SHEET E-1 FOR GENERAL NOTES, SPECIFICATIONS AND SYMBOL SCHEDULE.
- #3- PROVIDE THERMOSTAT WIRING FROM THERMOSTATS SHOWN TO ROOF TOP EQUIPMENT. COORDINATE EXACT WIRING REQUIREMENTS WITH MECHANICAL CONTRACTOR.
- #4- ALL 125 VOLT 15 AND 20 AMP RECEPTACLES SHOWN THIS SHEET (INCLUDING THE KITCHEN AREA) SHALL BE TAMPER RESISTANT (TR) STYLE UNLESS MOUNTED AT 5 1/2 FEET ABOVE FLOOR OR A SINGLE RECEPTACLE LOCATED WITHIN A DEDICATED SPACE FOR EACH APPLIANCE THAT, IN NORMAL USE, IS NOT EASILY MOVED FROM ONE PLACE TO ANOTHER AND THAT IS CORD-AND-PLUG CONNECTED (REFRIGERATORS, FREEZERS, OVEN/RANGES, MICROWAVES, ICE MACHINES, WASHER, DRYER, ETC.).

**POWER NOTES BY SYMBOL:**

- ① REPLACE EXISTING 50A 2-POLE RANGE CIRCUIT BREAKER IN PANEL #1 WITH A 100A 2-POLE CIRCUIT BREAKER FOR PROPOSED PANELBOARD 'K' FEEDER. FEEDER CIRCUIT TO BE 3 #3 AWG & 1 #8 GRD IN 1 1/4" CONDUIT.
- ② PROVIDE 100A 120/240V 1Ø 3W M.L.O. PANELBOARD AS SCHEDULED.
- ③ PROVIDE RANGE RECEPTACLE. BRANCH CIRCUIT TO BE 3 #6 AWG & 1 #10 GRD IN 1" CONDUIT.
- ④ PROVIDE CONNECTION TO ANSUL SYSTEM HOOD CONTROLLER AND ASSOCIATED EXHAUST FAN AND LIGHTS. BRANCH CIRCUIT TO BE 2 #12 AWG & 1 #12 GRD IN 3/4" CONDUIT.
- ⑤ PROVIDE ABOVE COUNTER SWITCH AND CONNECTION TO GARBAGE DISPOSAL. BRANCH CIRCUIT TO BE 2 #12 AWG & 1 #12 GRD IN 3/4" CONDUIT.
- ⑥ PROVIDE HARD WIRED SMOKE DETECTOR. BRANCH CIRCUIT TO BE 2 #12 AWG & 1 #12 GRD IN 3/4" CONDUIT.
- ⑦ PROVIDE 30A 2-POLE CIRCUIT BREAKER IN EXISTING PANEL #1 FOR PROPOSED WATER HEATER.
- ⑧ PROVIDE A 30A 2-POLE SNAP SWITCH FOR WATER HEATER DISCONNECT. BRANCH CIRCUIT TO BE 2 #10 AWG & 1 #10 GRD IN 3/4" CONDUIT.



**FACILITY POWER PLAN**

3/16" = 1'-0"

**FACILITY POWER PLAN**

LONE OAK COMMUNITY CENTER  
4445 LOUISE ROAD  
CUNNINGHAM, TENNESSEE

DRAWN BY	MLM
	PROJECT NO. 25-258963
DATE	02/13/26
DESCRIPTION	ADDENDUM #2

**E-3**