



**ADDENDUM NUMBER:** Three (3)  
**DATE:** February 3, 2026  
**PROJECT:** Interior Renovations for Montgomery County Assessor of Property  
**DESIGNER:** DOUGLAS A. JONES, ARCHITECT  
 MONTGOMERY COUNTY ENGINEERING  
**BID OPENING:** February 10, 2026, at 2:00 P.M.

**TO PLANHOLDERS:** This addendum is issued to modify the original Project Manual and Project Drawings dated January 14, 2026, and is hereby made part of the contract documents. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

Review changes to each portion of the work, as changes of one portion may affect the work of another.

#### **INFORMATION AVAILABLE TO BIDDERS**

##### **ITEM 01**

An investigation was conducted to determine the presence and probable extent of Asbestos & Lead Base Paint in the existing building materials by Levy Contractor, INC. on 2/3/2025.

The report of the findings of this investigation may be downloaded from the Information Available to Bidders subfolder in the Bidding Documents folder for the project.

#### **PROJECT MANUAL**

##### **ITEM 02**

SECTION 01 11 00 SUMMARY OF WORK, PART 1 – GENERAL, 1.6 WORK RESTRICTIONS; Delete Section 1.6 Work restrictions in their entirety. Substitute therefor "1.6 Work Restrictions" attached hereto.

Clarification: Section 1.6 Work Restrictions has been replaced to update part A Work Hours & part C Coordination with Occupants.

#### **DRAWINGS**

##### **ITEM 03**

SHEET D1.3 CEILING DEMOLITION PLAN; Delete Sheet D1.3 dated 01/14/2026 and Substitute Therefor Sheet D1.3 Dated 2/3/2026 attached hereto.

Clarification: Ceiling Demolition Tags in Women A128 & Men A129 have been changed from CD1 to CD3.

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**ITEM 04**

SHEET G1.2 OUTLINE SPECIFICATIONS, DIVISION 08, SECTION 08 71 00 - FINISH HARDWARE, HARDWARE SCHEDULE, HARDWARE SETS 4 & 5;

Delete references to: "1	Lockset / Entry	9K	626	BE".
Substitute Therefor: "1	Lockset / Entry	3453	626	HA
Match Existing Keyway".				

Clarification: The Locksets in Hardware Sets 4 & 5 have been revised.

**ITEM 05**

SHEET G1.2 OUTLINE SPECIFICATIONS, DIVISION 09 FINISHES, SECTION 09 67 00 - FLUID APPLIED FLOOR COATINGS; Add the following:

"Fluid Applied Vapor Barrier: Acceptable Manufacturer – Everlast Epoxy Moisture Vapor Primer EEPR0818.

Top Coat: Acceptable Manufacturer – Everlast Epoxy High Build Epoxy EEBC1414."

Clarification: Everlast Epoxy has been added as an acceptable manufacturer of fluid applied floor coatings.

**ITEM 06**

SHEET A2.1 BUILDING ELEVATIONS & SECTIONS; Delete Sheet A2.1 dated 01/14/2026 and Substitute Therefor Sheet A2.1 Dated 2/3/2026 attached hereto.

Clarification: Additional signage removal & EIFS repair have been added.

**ITEM 07**

SHEET A4.1 FURNISHINGS & EQUIPMENT PLAN; Delete Sheet A4.1 dated 01/14/2026 and Substitute Therefor Sheet A4.1 Dated 2/3/2026 attached hereto.

Clarification: The N.I.C. Furniture Layout has been revised.

**ITEM 08**

SHEET A4.2 A/V COORDINATION; Delete Sheet A4.2 dated 01/14/2026 and Substitute Therefor Sheet A4.2 Dated 2/3/2026 attached hereto.

Clarification: Low power, Data & HDMI have been added for a Podium Connection to Hearing Room A101.

**ITEM 09**

SHEET M-D H.V.A.C. DEMOLITION FLOOR PLAN, HVAC DEMOLITION PLAN NOTES, Note 2; Delete Note 2 in its entirety. Substitute therefor: "2. EXISTING RTU'S CURRENTLY HAVE MANUAL OUTSIDE AIR DAMPERS. PROVIDE AND INSTALL HOOD AND 2-POSITION MOTORIZED DAMPERS CONTROLLED FOR OCCUPANCY MODE BY NEW UNIT CONTROLS – SEE CONTROL SCHEMATICS.".

Clarification: Existing HVAC Units to remain do not have motorized dampers. Motorized dampers shall be provided as part of the project.

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**ITEM 10**

SHEET M-2 H.V.A.C. FLOOR PLAN, HVAC PLAN NOTES, Note 4; Delete Note 4 in its entirety. Substitute therefor: "4. EXISTING RTU'S CURRENTLY HAVE MANUAL OUTSIDE AIR DAMPERS. PROVIDE AND INSTALL HOOD AND 2-POSITION MOTORIZED DAMPERS CONTROLLED FOR OCCUPANCY MODE BY NEW UNIT CONTROLS – SEE CONTROL SCHEMATICS".

Clarification: Existing Unit to remain do not have Motorized Dampers. Motorized dampers shall be provided as part of the project.

**ITEM 11**

SHEET M-3 H.V.A.C. DETAILS, PACKAGE AC UNIT CONTROL SCHEMATIC; Add the following: "PROVIDE MANUAL OVERRIDE SWITCH LOCATED ADJACENT TO T'STAT FOR OCCUPANCY CONTROL IN SERIES WITH AUTOMATIC TIME CLOCK.".

Clarification: Existing Unit to remain do not have Motorized Dampers. Motorized dampers shall be provided as part of the project and have a manual override switch.

**ITEM 12**

SHEET E-1 LIGHTING FLOOR PLAN; Delete Sheet E-1 dated 01/14/2026 and Substitute Therefor Sheet E-1 Dated 2/3/2026 attached hereto.

Clarification: General Electrical Revisions.

**ITEM 13**

SHEET E-2 POWER/SYSTEMS FLOOR PLAN; Delete Sheet E-2 dated 01/14/2026 and Substitute Therefor Sheet E-2 Dated 2/3/2026 attached hereto.

Clarification: General Electrical Revisions & Replacement of Existing Fire Alarm system.

**ITEM 14**

SHEET E-5 ELECTRICALLEGENDS & SCHEDULES; Delete Sheet E-5 dated 01/14/2026 and Substitute Therefor Sheet E-5 Dated 2/3/2026 attached hereto.

Clarification: General Electrical Revisions.

**QUESTIONS & ANSWERS:**

**Q:** Ceiling Demo Plan Shows Demolition Notes CD! For A128 and A129. It states removing the ceiling in its entirety d1.3) Reflected Ceiling plan shows existing grid to remain and provide new ceiling tile A6.1) Just looking for clarification on this so we can bid properly.

**A:** The CD1 tags in Women A128 & Men A129 on D1.3 are an error. They have been changed to CD3. Refer to item 03 above.

**Q:** Need to know if the rooms that do not have emergency lights in them and the city inspector comes to inspect and said they need emergency lights in them who will pay for it because it not on the drawing?

**A:** Work required by code authorities that isn't on the drawings will be done by Change Order.

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**Q:** Do we know who is the fire alarm contractor that has the fire alarm or can we change it to another system?

**A:** The Existing Potter+ P300 Fire Alarm System is obsolete and will be replaced as part of this project. Refer to item 13 above.

**Q:** Will the owner do security and DATA wiring ?

**Q:** Who will do security cameras, & data?

**A:** Access Control, Data, & A/V cabling will be by separate contract. Pathways & Boxes are to be included in the bid.

**Q:** Need further information on "remote emergency heads". Are they existing to remain or new fixtures?

**A:** Unless the fixture specifically has (EX) next to it - it is a new fixture. The remote emergency heads called out are part of fixture X1 in the fixture schedule on sheet E-5.

**Q:** Will you announce the available federal dollars for this project?

**A:** Regarding the Federal dollars that are associated with the Liquidated Damage Clause for the project, this project has \$2,069,000 in Federal funds that must be spent prior to the end of the calendar year, or they are lost. This funding number does not necessarily represent the amount available to the contractor for construction. The owner has 3rd party expenses to cover beyond the contractor's bid price that may also be purchased from this fund.

**Q:** Will there be any noise restrictions or time windows for loud scopes?

**A:** For work in Suite 401 & 402 there aren't noise restrictions. Abnormally loud work in the Election Commission shall be coordinated with the occupants.

**Q:** Is it a normal process for pulling permits? Will the fees be waived?

**A:** Yes, Montgomery County cannot waive required City of Clarksville permits.

**Q:** The HVAC Plans call for field verifying weather the existing units have motorized outside air dampers and if they are not working, repair them or if they don't have them, put new ones in. Will someone tell whether they exist or not?

**A:** The existing do not have motorized Outside Air Dampers. They are to be provided in the project. Refer to Items No. 09, 10, & 11 above.

**Q:** Is there a required roofer? Is there a warranty on the roof?

**Q:** Do you have a local approved roofing contractor?

**A:** There is a Roof Warranty in place. Requirements are on Sheet A1.4 – Roof Plan. There are several area roofing companies approved by the manufacturer.

**Q:** HVAC supply, return and exhaust grills and registers do not have specifications. Will there be specifications provided?

**A:** Refer to sheet MP1 - HVAC & PLUMBING SPECIFICATION, SECTION 15880 – AIR DISTRIBUTION, PART 2- PRODUCTS, 2.3 AIR OUTLETS & INLETS.

**Q:** Gas piping to 2-new HVAC units: Plans indicates new gas line all the way to meter. If existing gas line is large enough to carry the load, can it be tapped into the existing li

**A:** This would need documentation to Determine/Confirm. Bid per the Drawings. If it is determined during construction that existing piping can be used, we can do a deductive change order.

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**Q:** Duct Smoke Detectors: Are duct smoke detectors required? If so, who provides them? Who installs them? Who wires them?

**A:** The design team does not specify who provides/install/wires – this is ultimately up to the general contractor; Duct smoke detectors are specified on E-2.

**Q:** The drawings indicate that the Electricians just need to provide a 1" conduit stub-up for the Phone/Data outlets. Will the owners install the low voltage wiring and the data jacks etc.?

**A:** Yes, Access Control, Data, & A/V cabling will be by separate contract. Pathways & Boxes are to be included in the bid.

**Q:** Who is or will be monitoring the FACP?

**A:** Montgomery County has a contract with Vector Security for Monitoring the Fire Systems at Veterans Plaza.

**Q:** On Sheet E-2 there are some symbols shown that do not appear in our electrical legend. They are shown as squares with letters [CR], [ES] & [ML]. Please clarify what these symbols represent and if they are just being shown so the electricians can provide a raceway for these devices? If we are to provide a conduit raceway, what size will be required? These appear to be security devices, will the owners provide and install the low voltage wiring and the security devices that are shown?

**A:** CR, ES, & ML are Card Reader, Electric Strike, & Magnetic Lock respectively. Conduit & boxes are required to be installed by the contract. Requirement shall match Data Box detail. The Owner will install cabling & devices not specified in the hardware schedule. Refer to items 12 & 13 above.

**Q:** The plans show two duct detectors on each HVAC unit. However, only one duct detector is required by code based on the CFMs shown on the Mechanical schedule. As far as the fire alarm is concerned, should we bid it as shown or with only one duct detector required by code for each HVAC unit?

**A:** The Building Code requires one and there's a NFPA standard that requires the second. Bid per the drawings.

**Q:** What type of floor box will be spec'd?

**A:** Basis of design is ABB model 643 3 gang floor box. Contractor shall not provide separate floor boxes for power and communications. Refer to Item No. 13 above.

**Q:** Will the existing lights be turn over to owner?

**A:** No, the owner does not want existing lights scheduled for demolition. There are a few existing lights specifically called out existing to be re-installed.

**OTHER REQUIREMENTS AND PROVISIONS OF THE CONTRACT DOCUMENTS REMAIN UNCHANGED.**

**END OF ADDENDUM NUMBER THREE**

## 1.6 WORK RESTRICTIONS

### A. Work Hours:

1. No work hour restrictions unless otherwise indicated by City ordinances for Work in Suites 401 & 402.
2. Work in the Election Commission shall be limited to Business Hours 8:00 - 4:30 Mon-Fri.
3. No work may occur in the Election Commission on the Following Dates:  
April 15-May 5, 2026 (no work)  
July 17-Aug. 6, 2026 (no work)  
Oct. 14 – Nov. 3, 2026 (no work)

### B. Noise, Vibration, and Odors: Coordinate operations that may result in high levels of noise and vibration, odors, or other disruption to Owner occupancy with Owner.

1. Notify Architect not less than two days in advance of proposed disruptive operations.
2. Obtain Architect's written permission before proceeding with disruptive operations.
3. The contractor may have to coordinate loud and/or odor producing work that would disturb the adjacent Departments to be completed after normal weekday business hours or over weekends.

### C. Coordination with Occupants:

1. Owner Occupancy: Suites 401 & 402 will be empty and fully available to the Contractor. The Election Commission will remain open during construction activities.
2. Adjacent departments within Veterans Plaza will remain open to the Public. Construction traffic & parking shall be kept to the rear (west) side of suites 401 & 402. Public sidewalks shall remain open & clear of construction materials.
3. Existing areas that overlap with areas to be constructed shall be coordinated with the owner to provide access to these existing areas as needed.
4. Perform the Work so as not to interfere with Owner's operations. Maintain existing exits unless otherwise indicated.

### D. Comply with limitations on use of public streets and with other requirements of authorities having jurisdiction.

### E. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging for temporary utility services according to requirements indicated:

1. Notify Owner not less than 48 hours in advance of proposed utility interruptions.
2. Obtain Owner's written permission before proceeding with utility interruptions.

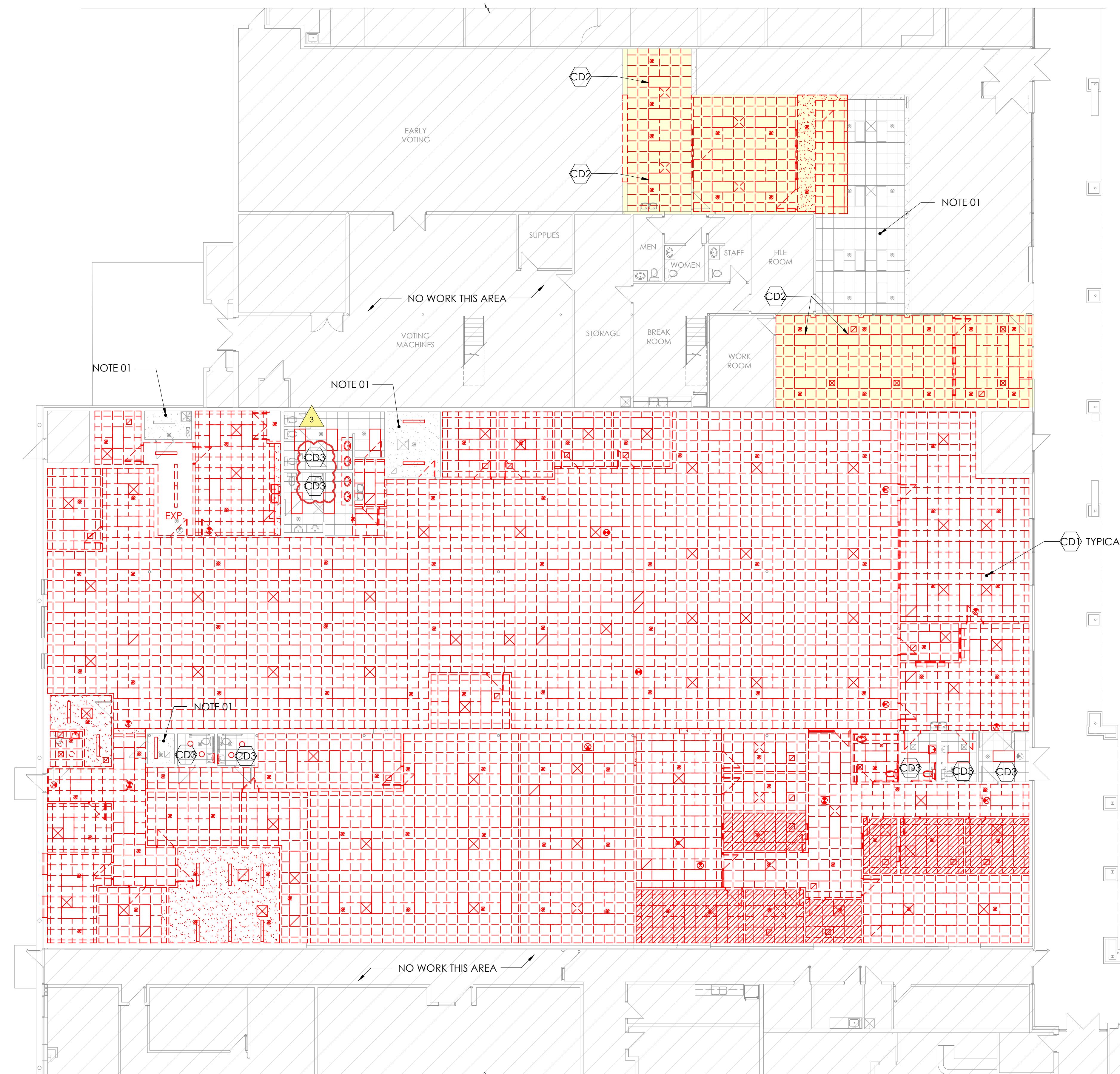
### F. Nonsmoking Building: Smoking is not permitted within the building or within 25 feet of entrances, operable windows, or outdoor-air intakes.

### G. Controlled Substances: Use of alcohol and other controlled substances on Project site is strictly not permitted.

### H. Dress & Decorum:

1. Workers shall be properly clothed at all times including sleeved shirts.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15



**A1** CEILING DEMOLITION PLAN  
G0.1

SCALE: 3/32" = 1'-0"

## DEMOLITION NOTES

CD1 REMOVE CEILING IN ITS ENTIRETY. REFER TO DEMOLITION LEGEND BELOW & MP&E SHEETS FOR CORRESPONDING BUILDING SYSTEMS DEMO.

CD2 REMOVE EXISTING LIGHT FIXTURE, SALVAGE FOR REINSTALLATION - REF. ELECTRICAL.

CD3 REMOVE EXISTING ACOUSTICAL PANELS. EXISTING GRID TO REMAIN.

## KEY NOTES

01 EXISTING CEILING TO REMAIN.

## GENERAL NOTES

ADDITIONAL DEMOLITION, NOT SHOWN, MAY BE REQUIRED TO COMPLETE INSTALLATION OF NEW WORK.

PRIOR TO CONTROLLED DEMOLITION, MAKE TEMPORARY PROVISIONS FOR DUST CONTROL TO LIMIT SPREAD TO IMMEDIATE WORK AREA. CLEAN-UP CONTINUOUSLY AS WORK PROGRESSES. REMOVE DEBRIS FROM SITE & DISPOSE LEGALLY.

REFER TO MECHANICAL, PLUMBING, FIRE PROTECTION & ELECTRICAL DRAWINGS FOR RESPECTIVE DEMOLITION.

M, P & E ITEMS SHOWN THIS SHEET FOR COORDINATION PURPOSES. REF. MECHANICAL, PLUMBING, FIRE PROTECTION & ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.

PROTECT EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL PATCH AND/OR REPAIR ANY DAMAGE CAUSED TO ITEMS TO REMAIN.

ADJOINING AREAS SHOWN W/ DIAGONAL HATCHING SHALL BE LEFT UNDISTURBED UNLESS NOTED OTHERWISE. DO NOT TRACK DUST & DIRT INTO ADJOINING SPACES.

EXISTING INFORMATION TAKEN FROM PREVIOUS DESIGN DRAWINGS AND LIMITED SITE OBSERVATIONS. FIELD VERIFY LAYOUT & DIMENSIONS PRIOR TO CONSTRUCTION ACTIVITIES. NOTIFY ARCHITECT IF CONDITIONS VARY FROM INFORMATION SHOWN.

## ALTERNATE NO. 1

ALL WORK RELATED TO THE ELECTION COMMISSION SPACE SHALL BE INCLUDED IN ALTERNATE NUMBER ONE (1). THIS INCLUDES SPACES: LOBBY E101, CONFERENCE ROOM E102, CORRIDOR E103, GENERAL OFFICE E104, REGISTRATION E105, & ELECTION COMMISSIONER OFFICE E106. REF. SEQUENCE OF WORK ON G0.2.

## DEMOLITION LEGEND

- DENOTES DEMOLITION
- EXIT SIGNAGE (ARROWS DENOTE PATH OF TRAVEL)
- EXP. EXPOSED STRUCTURE (NO CEILING)
- ++ 2'X2' SUSPENDED CEILING GRID
- HARD GYP BOARD CEILING
- 2'x4' LIGHT FIXTURE IN CEILING GRID
- 1'X4' LIGHT FIXTURE (MULTIPLE MOUNTING TYPES)
- CAN LIGHT IN CEILING GRID
- SUPPLY AIR DIFFUSER
- △ RETURN AIR DIFFUSER
- GYPSUM BOARD BULKHEAD
- EXISTING GYPSUM BOARD CEILING ABOVE SUSPENDED ACOUSTICAL TILE CEILING - TO BE DEMOLISHED AS WELL
- \* SPRINKLER HEAD IN EXISTING CEILING TO BE DEMOLISHED.

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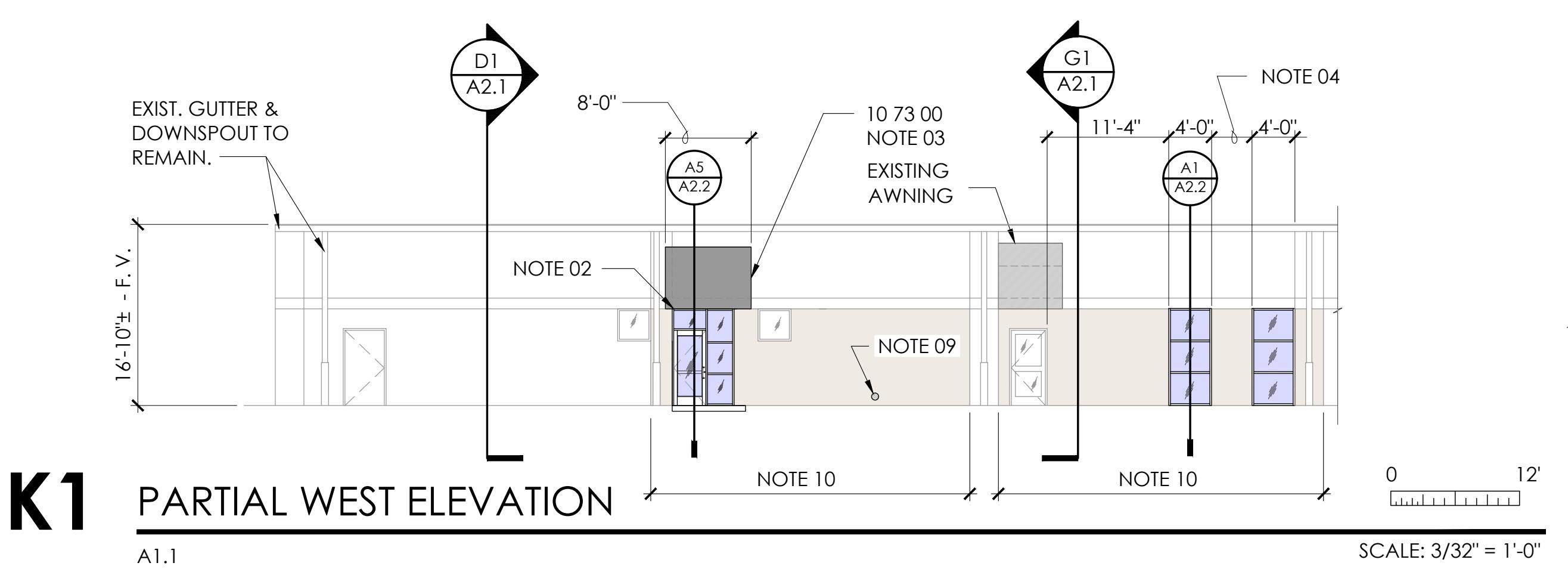
1 Millennium Plaza, Suite 401, Clarksville, TN 37040  
Phone: (931) 553-5113 - www.mcgtn.org/engineer

CEILING DEMOLITION PLAN  
INTERIOR RENOVATIONS FOR  
MONTGOMERY COUNTY ASSESSOR OF PROPERTY  
350 PAGEANT LANE, SUITES 401 & 402  
CLARKSVILLE, TENNESSEE

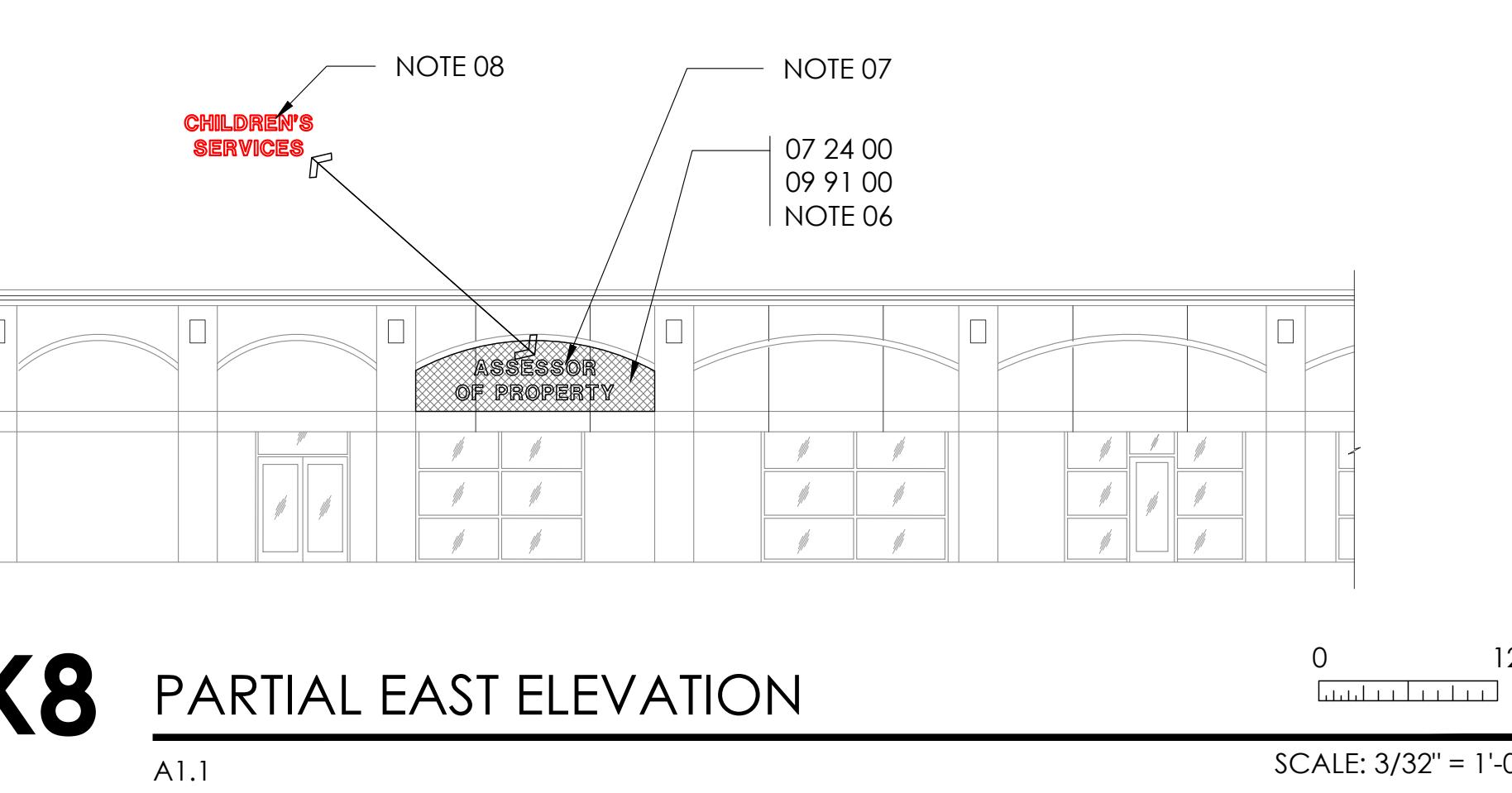
DRAWN BY	PROJECT NO	DESCRIPTION
	MCE21-03	BID SET
02/03/2026	ADDITION NO. 3	

**D1.3**

WHEN PLOTTED FULL SIZE THIS SHEET MEASURES 22' x 34'



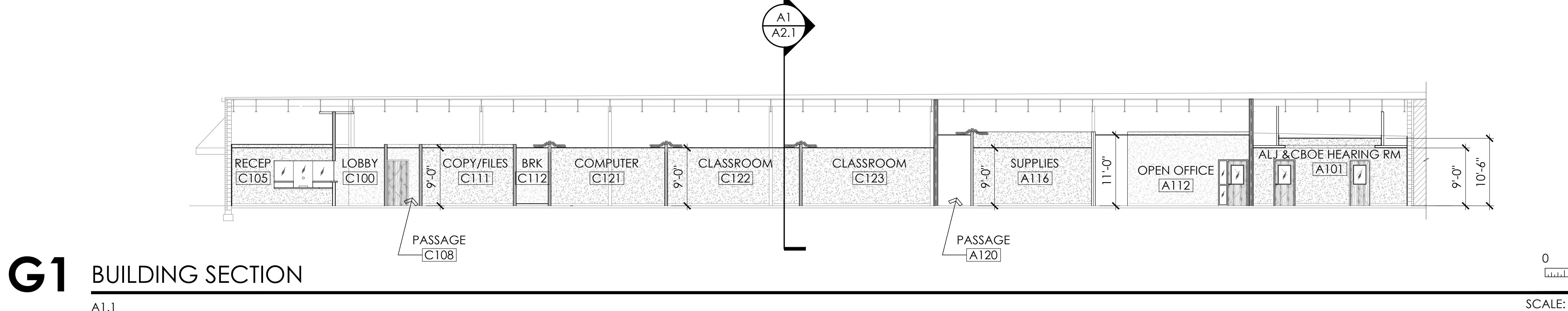
**K1** PARTIAL WEST ELEVATION



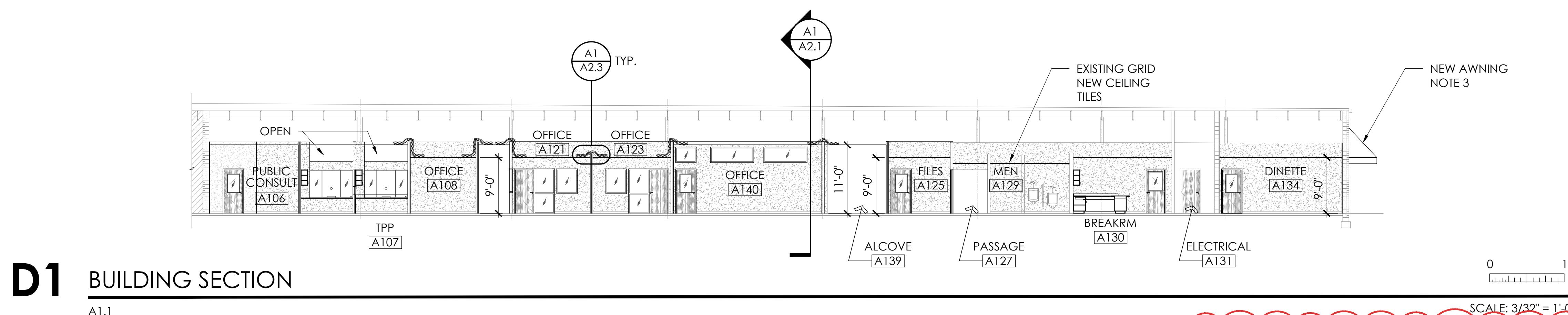
**K8** PARTIAL EAST ELEVATION

### KEY NOTES

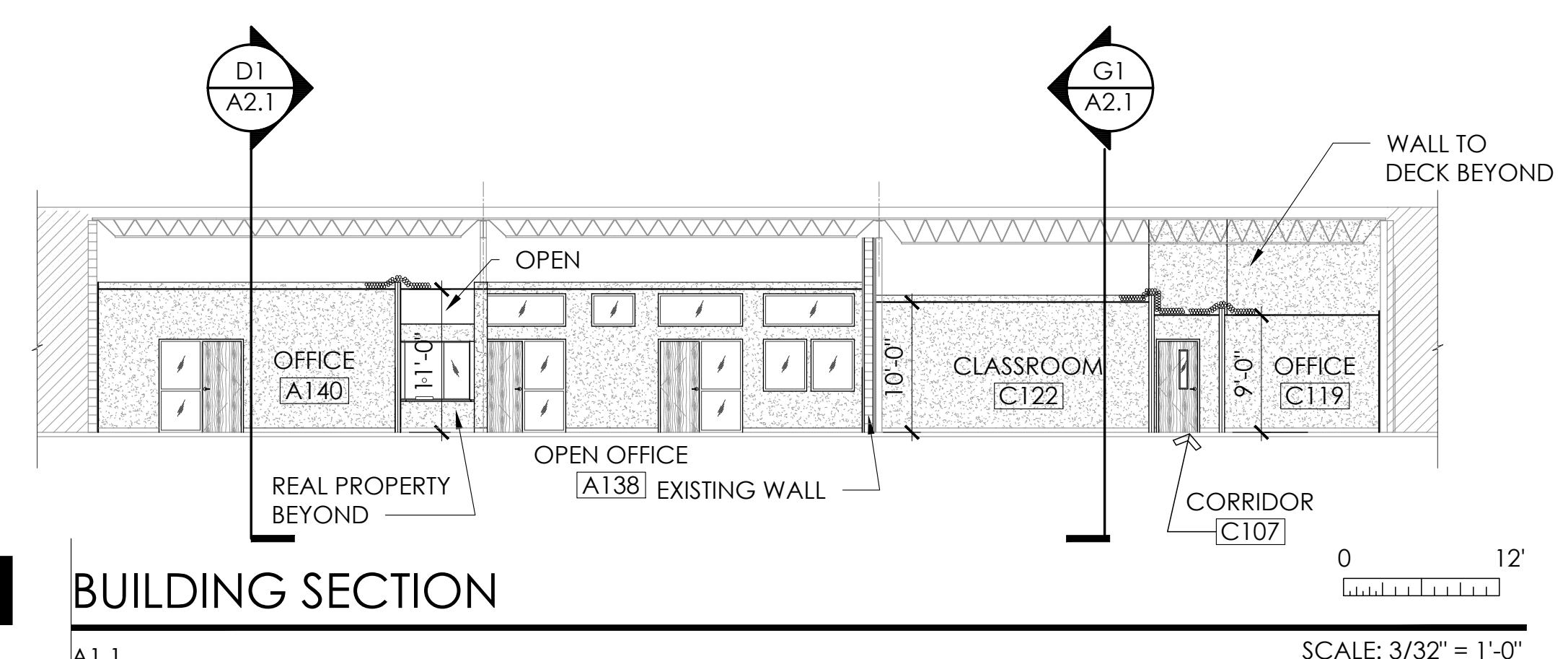
- 01 PREP AND PAINT ENTIRE AREA PER SPECIFIED PAINT AND COLOR.
- 02 FIELD VERIFY DIMENSION OF EXISTING LINTEL.
- 03 ALUMINUM FRAME FABRIC AWNING - MATCH EXISTING.
- 04 FIELD DETERMINE TO ALIGN SOUTH JAMB WITH PAINTED PILASTER.
- 05 REMOVE EXISTING "ASSESSOR OF PROPERTY" ALUMINUM LETTERING & SALVAGE FOR REINSTALLATION.
- 06 PATCH HOLES FROM PREVIOUS LETTERING LAYOUT BY E.I.F.S. MFR. APPROVED METHOD, RESURFACE, & PAINT ENTIRE AREA TO MATCH SIMILAR ADJACENT EXISTING AREA.
- 07 CLEAN & REINSTALL EXISTING SALVAGED "ASSESSOR OF PROPERTY" LETTERING.
- 08 REMOVE EXISTING "CHILDREN'S SERVICES" ALUMINUM LETTERING.
- 09 REMOVE EXISTING DRYER VENT, GROUT MASONRY SOLID. PAINT EXTERIOR TO MATCH.
- 10 TOUCH UP EXTERIOR PAINT WHERE DISTURBED BY CONSTRUCTION - COLOR 1 FIELD BETWEEN "PILASTERS" & COLOR 2 "PILASTER DISTURBED".
- 11 REMOVE EXISTING "ASSESSOR OF PROPERTY" ALUMINUM LETTERING & RETURN TO OWNER.



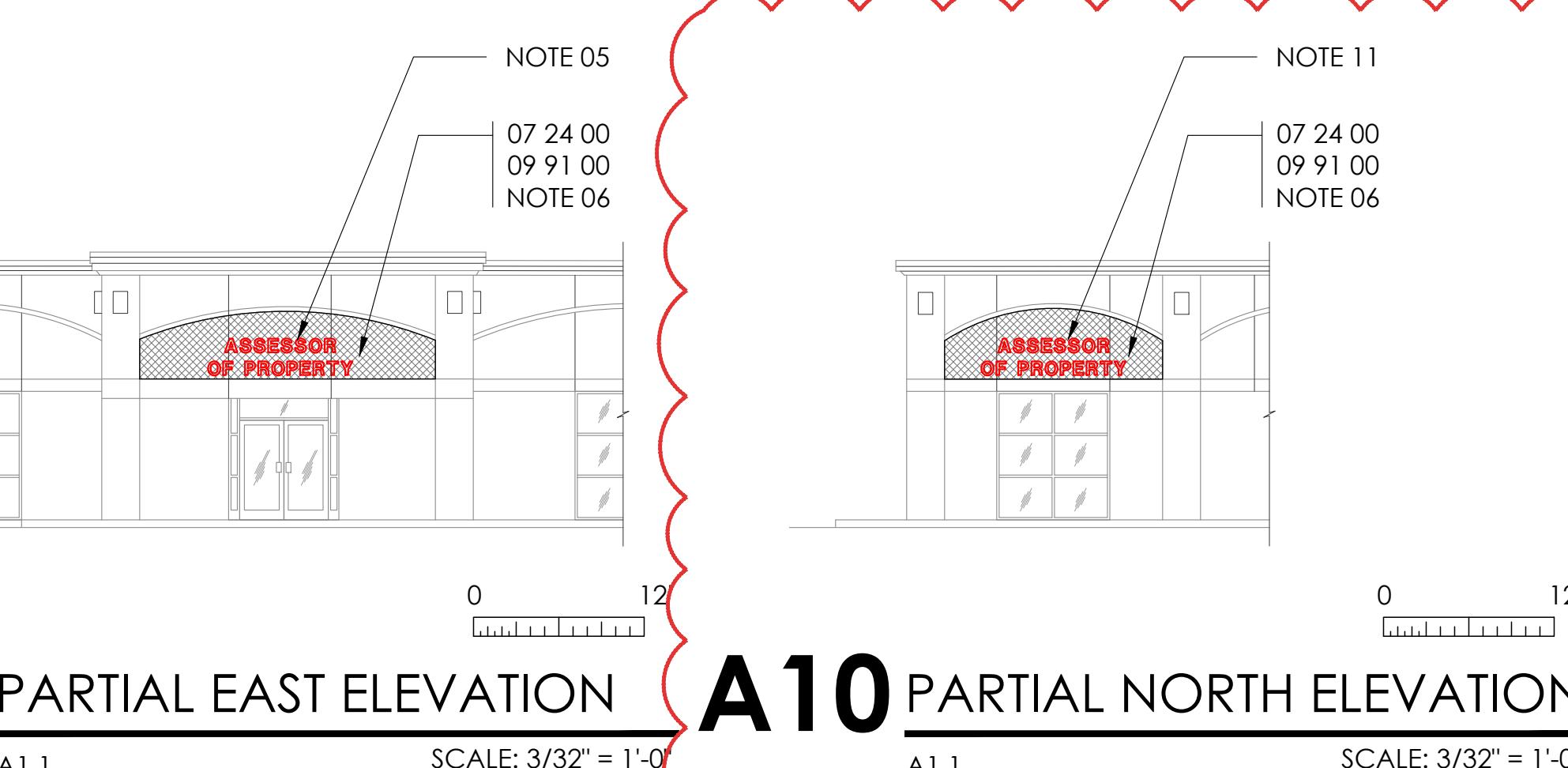
**G1** BUILDING SECTION



**D1** BUILDING SECTION



**A1** BUILDING SECTION



### GENERAL NOTES

EXISTING ROOFTOP HVAC UNITS & DUCT WORK NOT SHOWN.  
REFER TO MECHANICAL DRAWINGS.

BUILDING ELEVATIONS AND SECTIONS  
INTERIOR RENOVATIONS FOR  
MONTGOMERY COUNTY ASSESSOR OF PROPERTY  
350 PAGEANT LANE, SUITES 401 & 402  
CLARKSVILLE, TENNESSEE

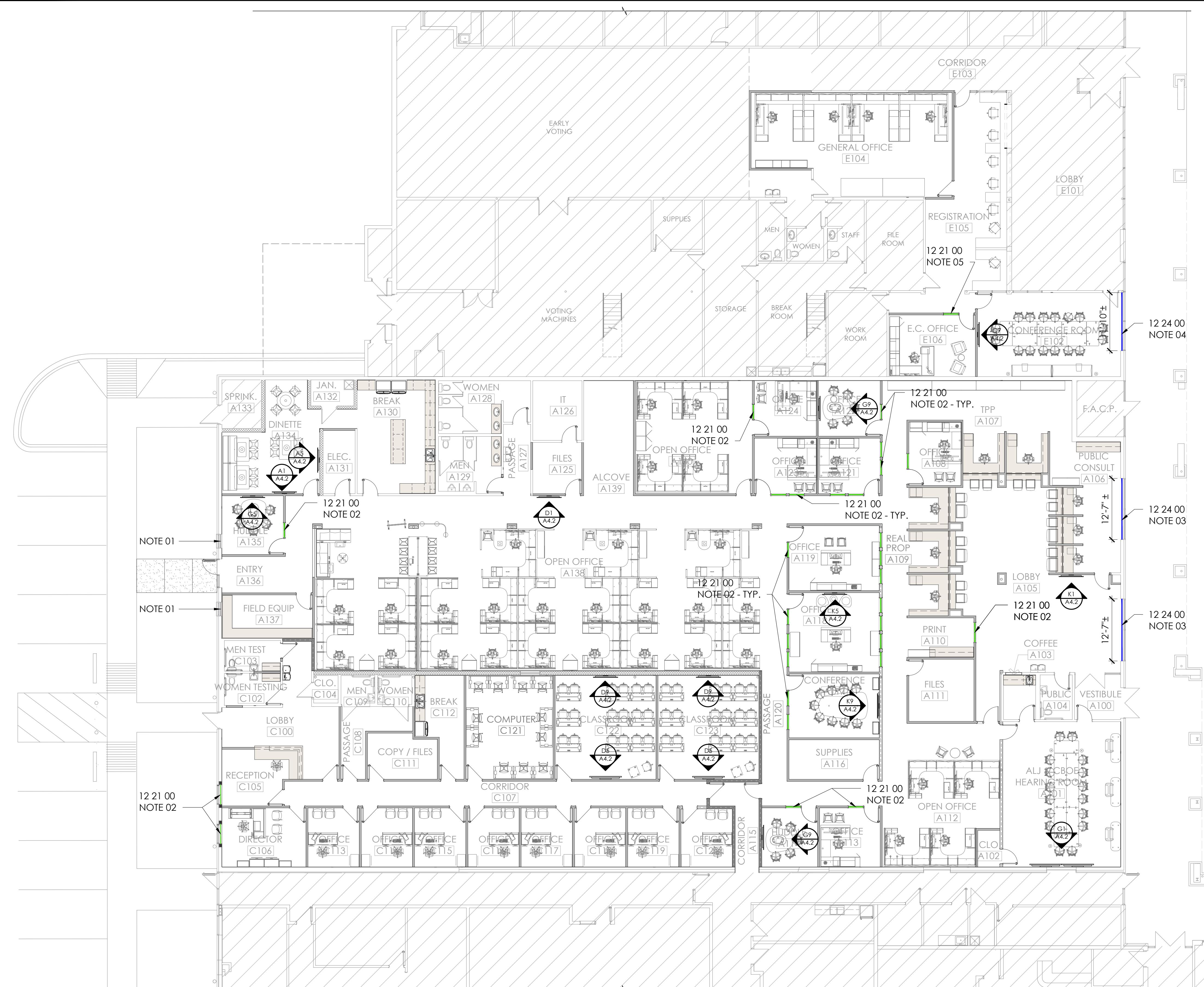
DRAWN BY	PROJECT NO.
	MCE21-03
DATE	DESCRIPTION
01/14/2026	BID SET
02/03/2026	ADDENDUM NO. 3

**A2.1**

### PARTITION LEGEND

- EXISTING PARTITION TO REMAIN - WIDTH VARIES
- NEW 3-5/8" METAL STUD PARTITION W/ 5/8" TYPE X GYP. BOARD EA. SIDE - TOP OF PARTITION 6" ABOVE ADJACENT CLG.
- NEW 6" METAL STUD FULL HEIGHT PARTITION W/ 5/8" TYPE X GYP. BOARD EA. SIDE - EXTEND PARTITION TO DECK.
- NEW 6" METAL STUD PARTITION W/ 5/8" TYPE X GYP. BOARD EA. SIDE - TOP OF PARTITION 6" ABOVE ADJACENT CLG.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15



**A1** FURNISHINGS PLAN

A1.1

0 12' N  
SCALE: 3/32" = 1'-0"  
WHEN PLOTTED FULL SIZE THIS SHEET MEASURES 22" x 34"

## KEY NOTES

- EXISTING MINI-BLINDS TO REMAIN.
- 1" MIN-BLINDS - REFER TO WINDOW ELEVATIONS FOR SIZES & LOCATIONS.
- CHAIN & CLUTCH MANUALLY OPERATED SOLAR SHADE WITH JOINTS AT MULLIONS. EXISTING OPENING NOMINAL 12'-7" WIDE X 9'-0" TALL. FIELD VERIFY OPENING SIZE.
- CHAIN & CLUTCH MANUALLY OPERATED SOLAR SHADE WITH JOINTS AT MULLIONS. EXISTING OPENING NOMINAL 11'-10" WIDE X 7'-8" TALL. FIELD VERIFY OPENING SIZE. INCLUDE THIS SPACE IN ALTERNATE NO. 1.
- 1" MIN-BLINDS - REFER TO WINDOW ELEVATIONS FOR SIZES & LOCATIONS. INCLUDE THIS SPACE IN ALTERNATE NO. 1.

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**FURNISHINGS & EQUIPMENT PLAN**  
**INTERIOR RENOVATIONS FOR**  
**MONTGOMERY COUNTY ASSESSOR OF PROPERTY**  
**350 PAGEANT LANE, SUITES 401 & 402**  
**CLARKSVILLE, TENNESSEE**

## GENERAL NOTES

FURNITURE IS SHOWN FOR REFERENCE ONLY AND IS NOT IN THE CONTRACT.

EQUIPMENT SHOWN IS NOT IN CONTRACT. U.N.O. REFER TO ELECTRICAL DRAWINGS FOR INFORMATION ON THE EQUIPMENT REQUIREMENTS.

M, P & E ITEMS SHOWN THIS SHEET FOR COORDINATION PURPOSES. REF. MECHANICAL, PLUMBING, FIRE PROTECTION & ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.

N.I.C. FURNITURE LAYOUT HAS BEEN REVISED. 3

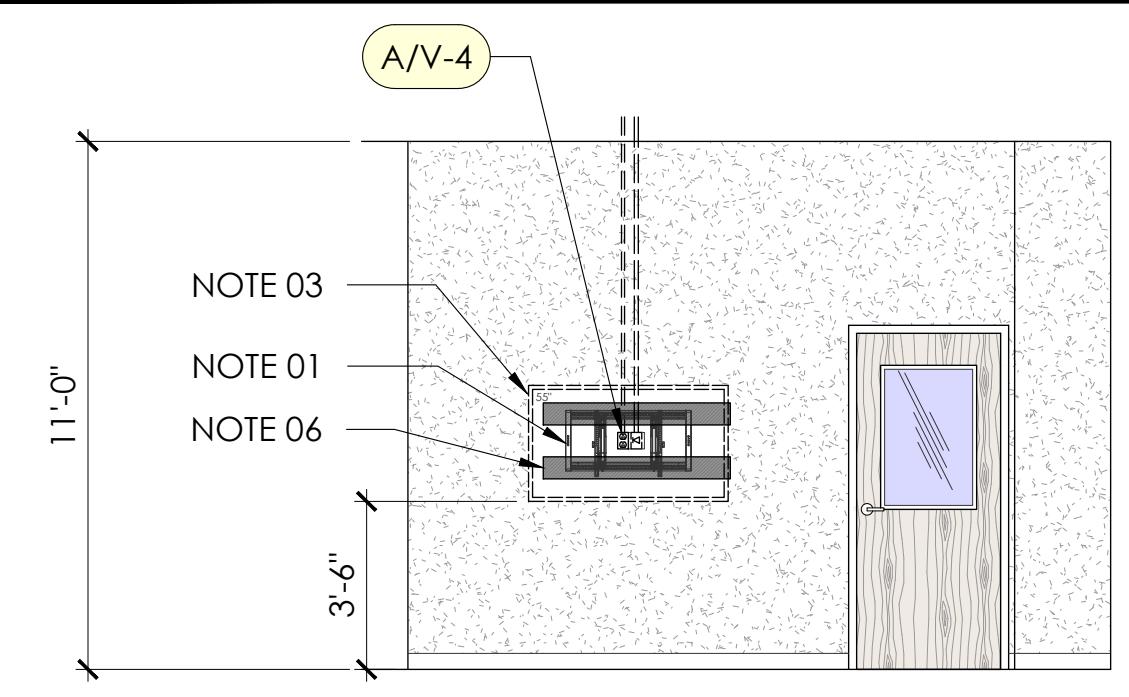
## PARTITION LEGEND

- EXISTING PARTITION TO REMAIN - WIDTH VARIES
- NEW 3 1/2" METAL STUD PARTITION W/ 5/8" TYPE X GYP. BOARD EA. SIDE - TOP OF PARTITION 6" ABOVE ADJACENT CLG.
- NEW 6" METAL STUD FULL HEIGHT PARTITION W/ 5/8" TYPE X GYP. BOARD EA. SIDE - EXTEND PARTITION TO DECK.
- NEW 6" METAL STUD PARTITION W/ 5/8" TYPE X GYP. BOARD EA. SIDE - TOP OF PARTITION 6" ABOVE ADJACENT CLG.

DRAWN BY	PROJECT NO
	MCE21-03
01/14/2026	BID SET
02/03/2026	ADDENDUM NO. 3

**A4.1**

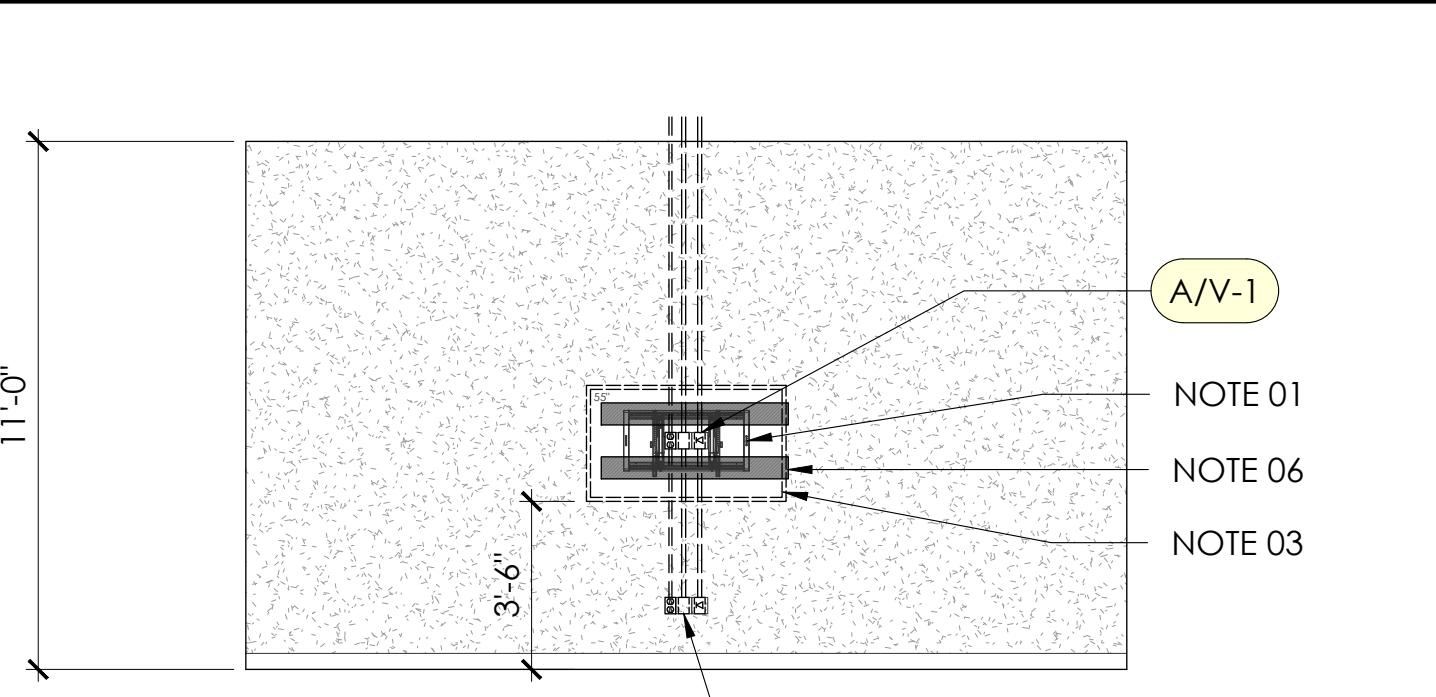
WHEN PLOTTED FULL SIZE THIS SHEET MEASURES 22" x 34"



**K1** LOBBY A105

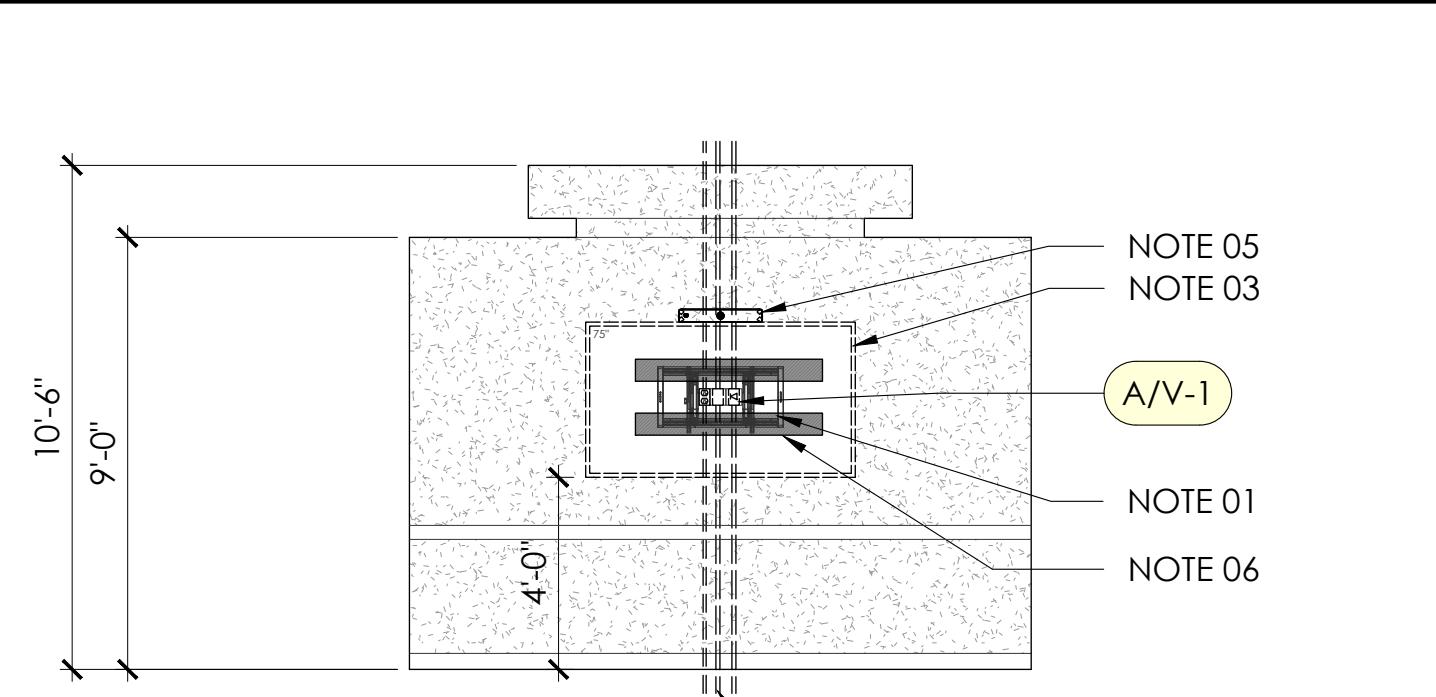
A4.1

SCALE: 1/4" = 1'-0"



**K5** OFFICE A118

SCALE: 1/4" = 1'-0"

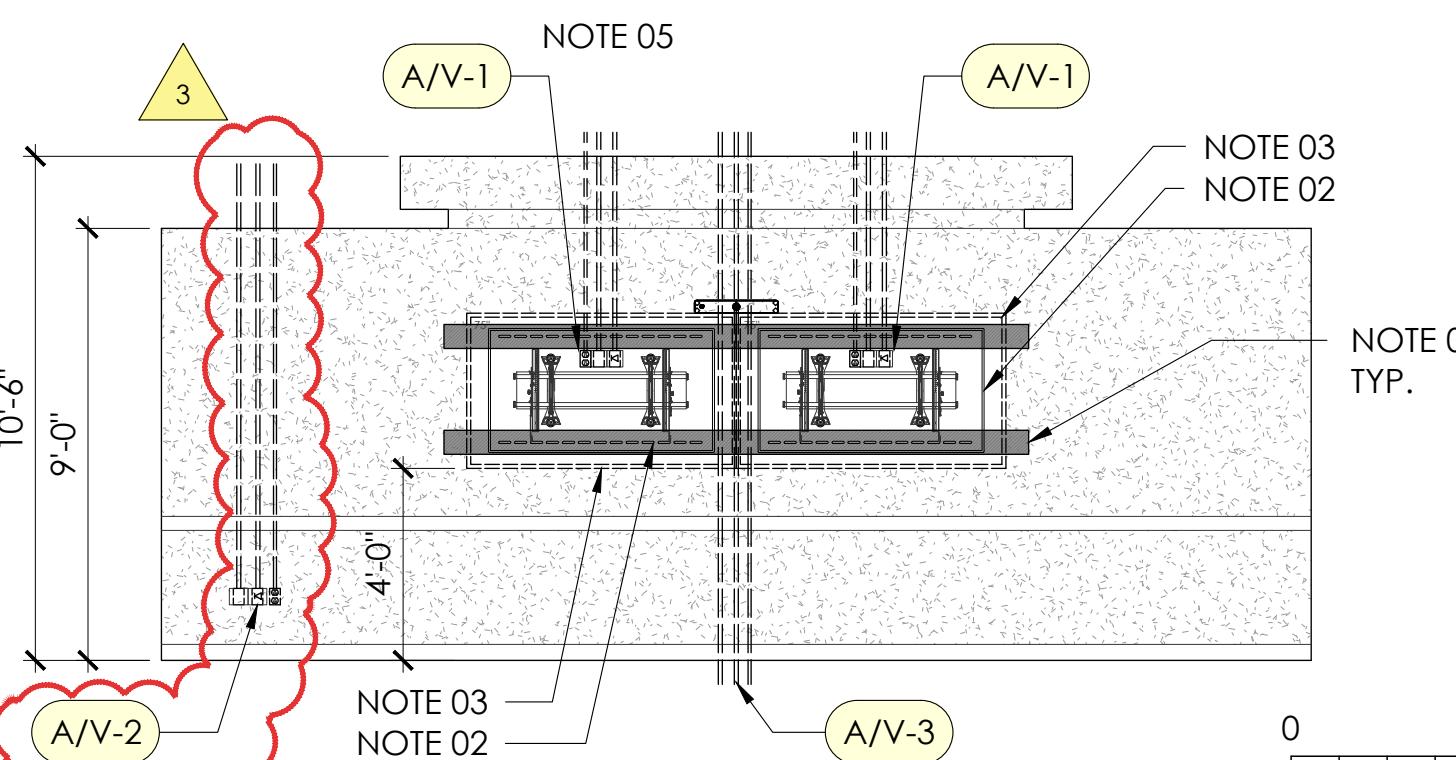


**K9** CONFERENCE A117

SCALE: 1/4" = 1'-0"

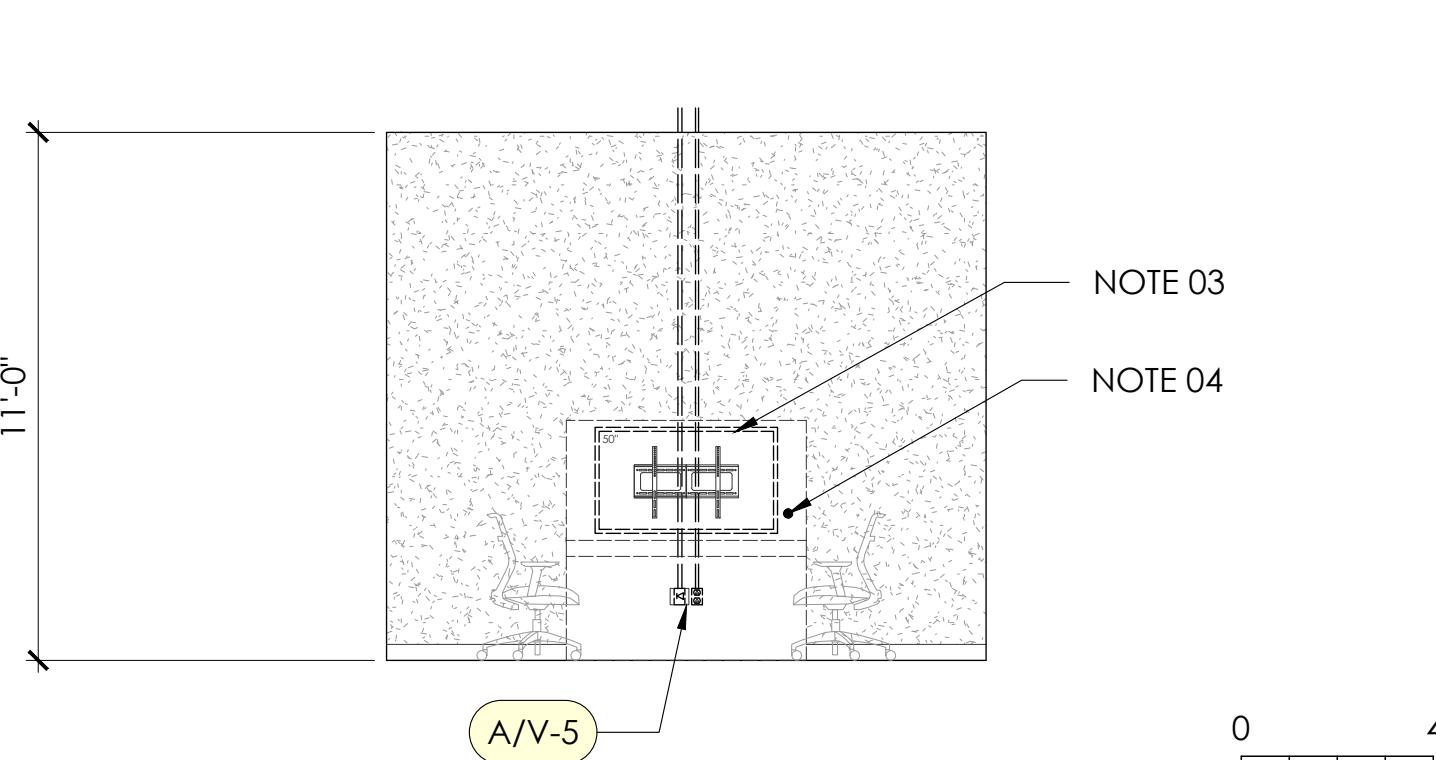
## KEY NOTES

- 01 N.I.C. SANUS - VLT7 ADVANCED TILT PREMIUM WALL MOUNT FOR 42" TO 90" TV BY OWNER.
- 02 N.I.C. ROOMREADY OR EQ. AV RACK & TV MOUNTING BRACKET BY OWNER.
- 03 N.I.C. TV BY OWNER - SIZE VARIES.
- 04 N.I.C. HUDDLE TABLE W/ A/V CHASE & VERTICAL MOUNTING SURFACE.
- 05 N.I.C. WEBEX ROOMBAR.
- 06 2 ROWS OF BLOCKING CENTER ON TV BRACKET MOUNTING HOLES - VERIFY HEIGHT IN FIELD W/ ARCHITECT. REF DETAIL H1/A2.3.
- 07 BLOCKING NOT REQUIRED - N.I.C. BRACKET TO USE SPACERS TO ANCHOR BRACKET TO CMU WALL BEHIND FURRED GYP. BOARD.



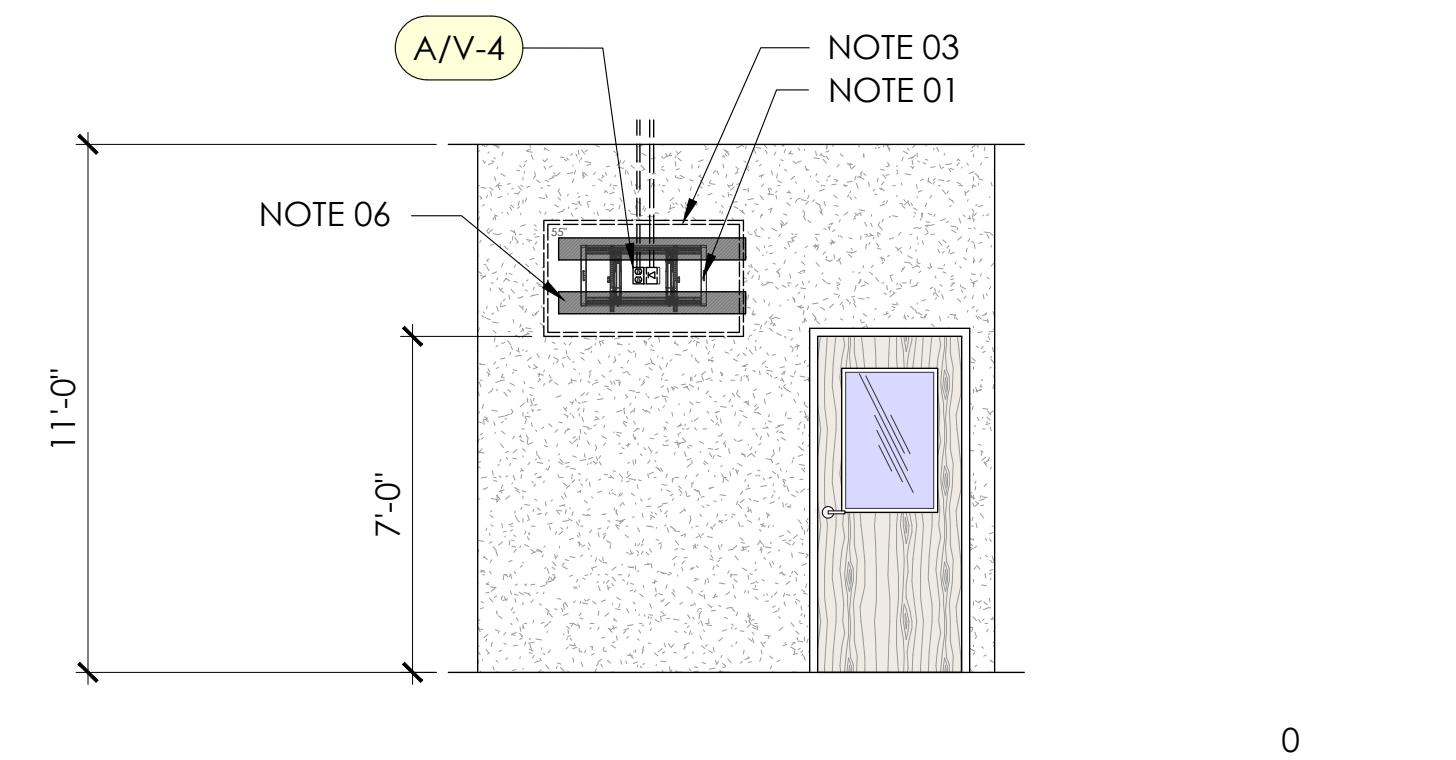
**G1** HEARING ROOM A101

SCALE: 1/4" = 1'-0"



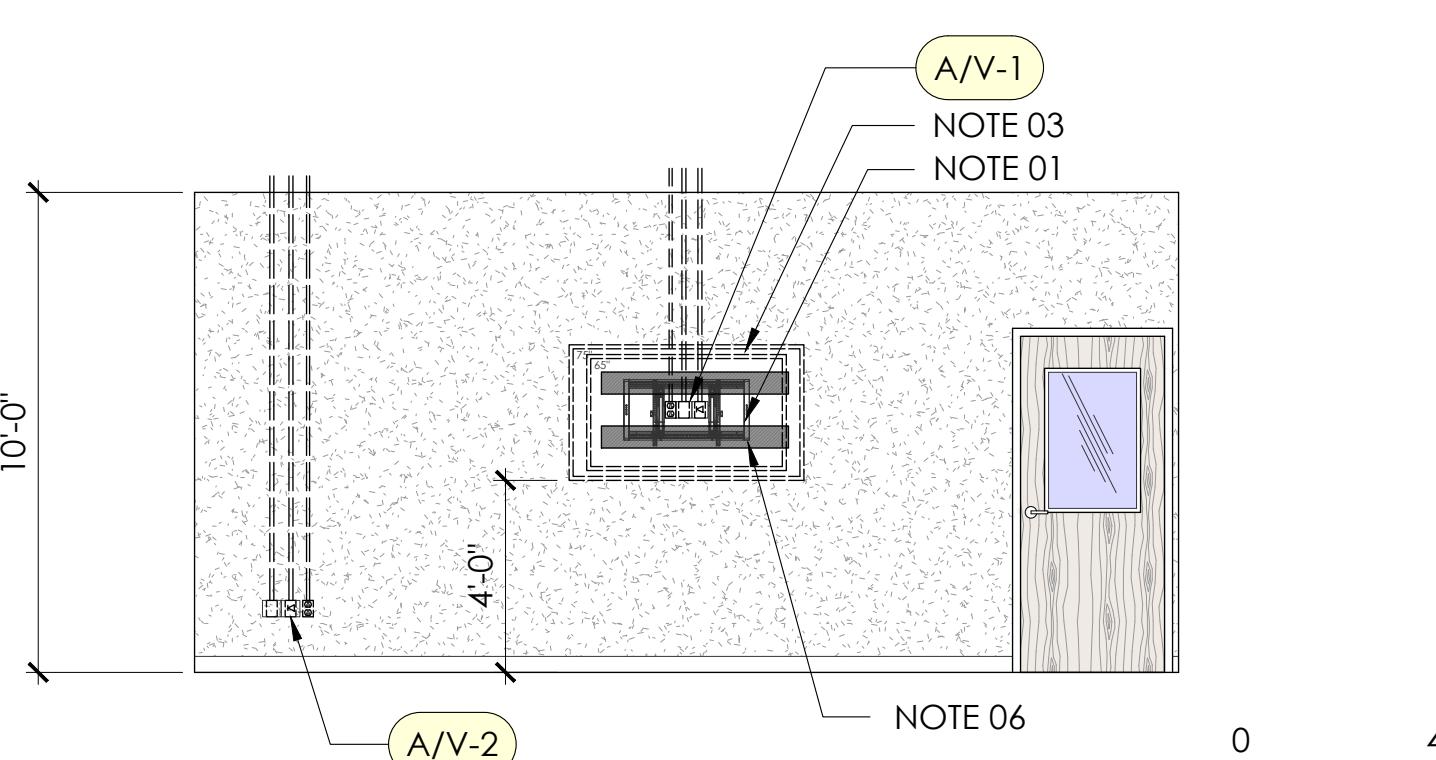
**G5** HUDDLE A135

SCALE: 1/4" = 1'-0"



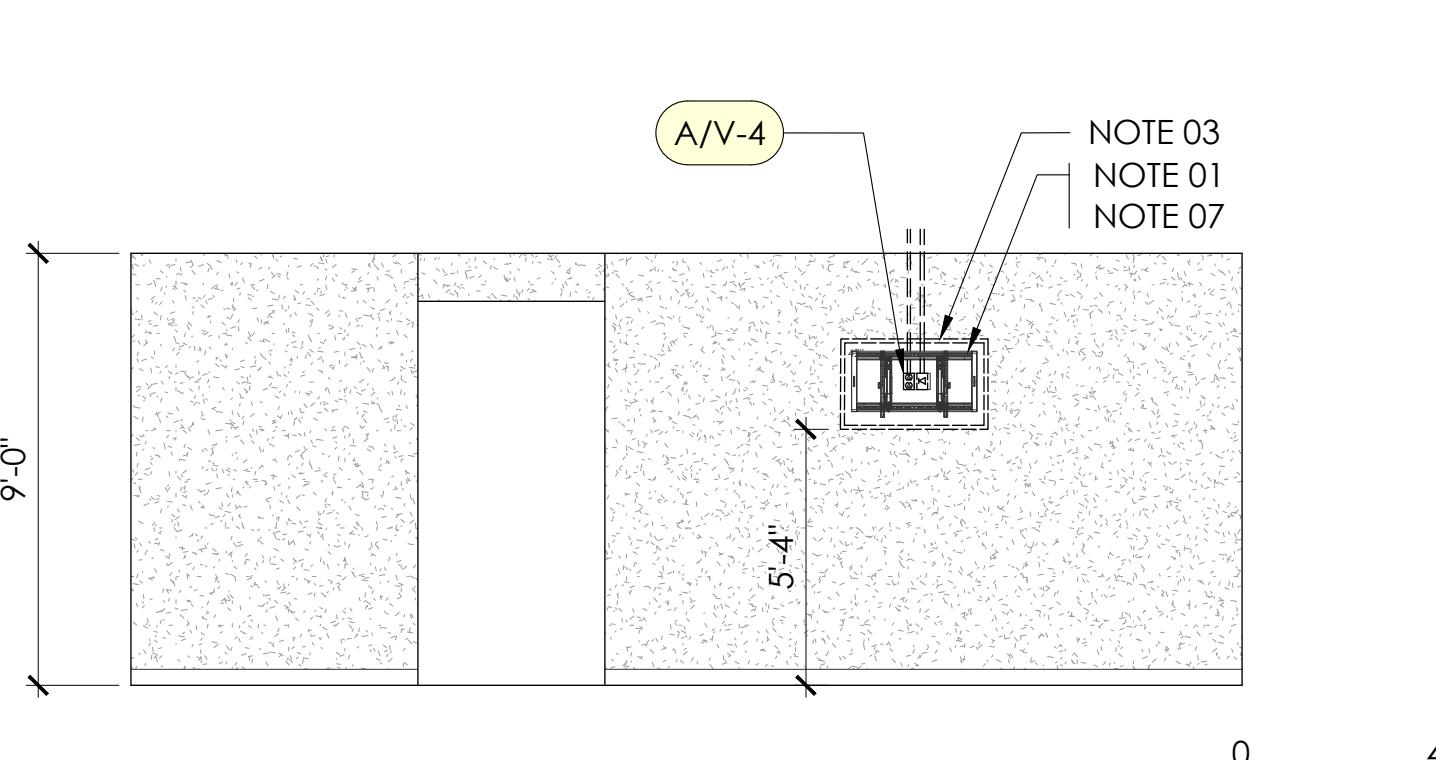
**D1** OPEN OFFICE A138

SCALE: 1/4" = 1'-0"



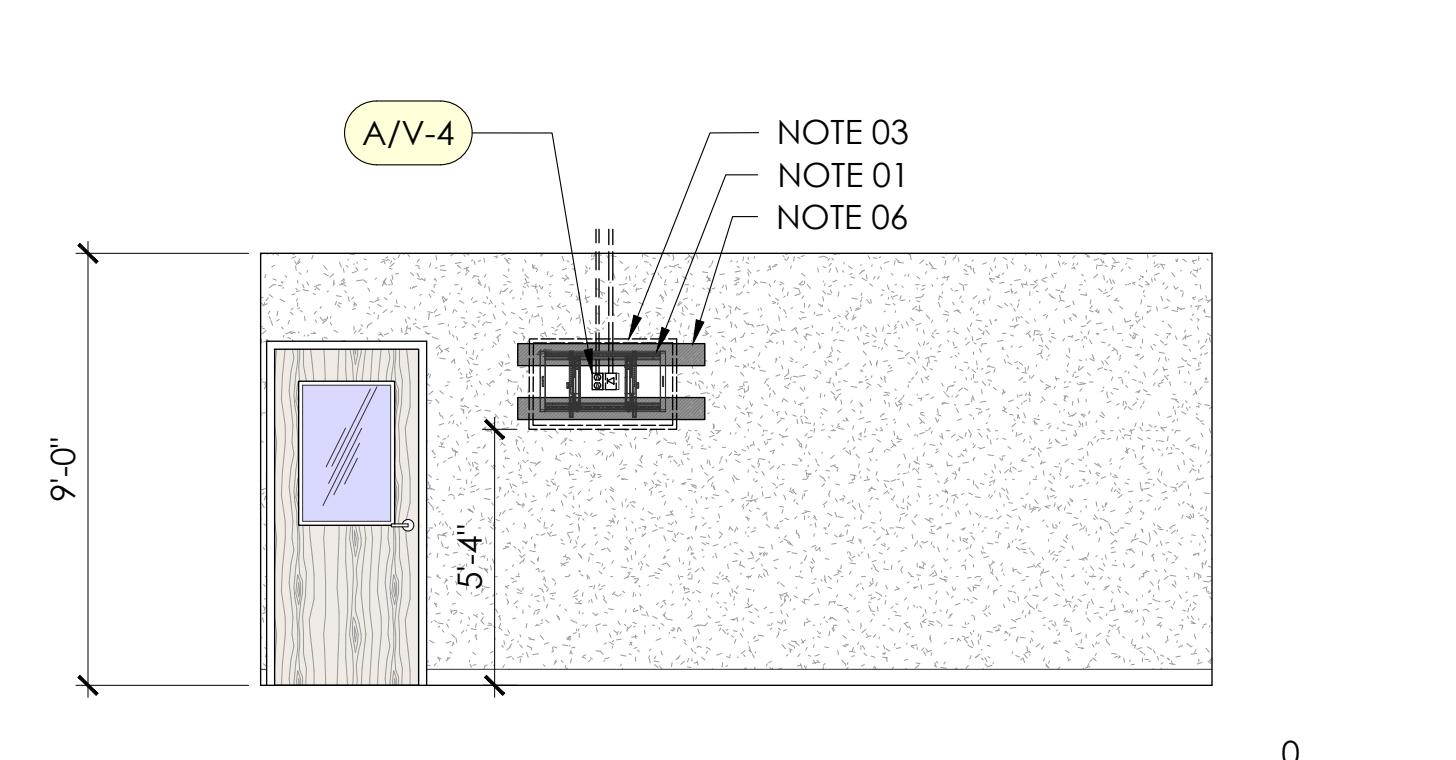
**D5** CLASSROOM C122 & C123 - SOUTH

SCALE: 1/4" = 1'-0"



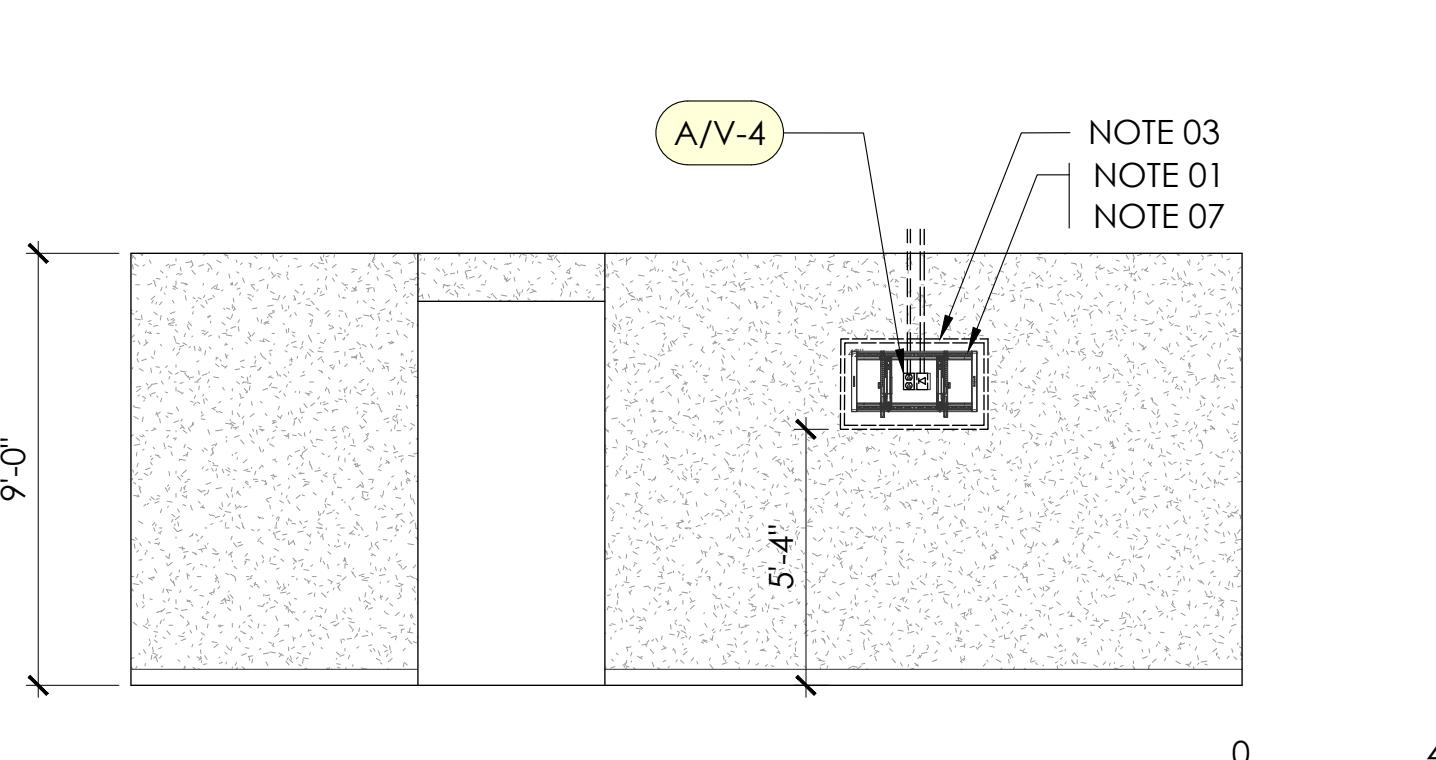
**D9** CLASSROOM C122 & C123 - NORTH

SCALE: 1/4" = 1'-0"



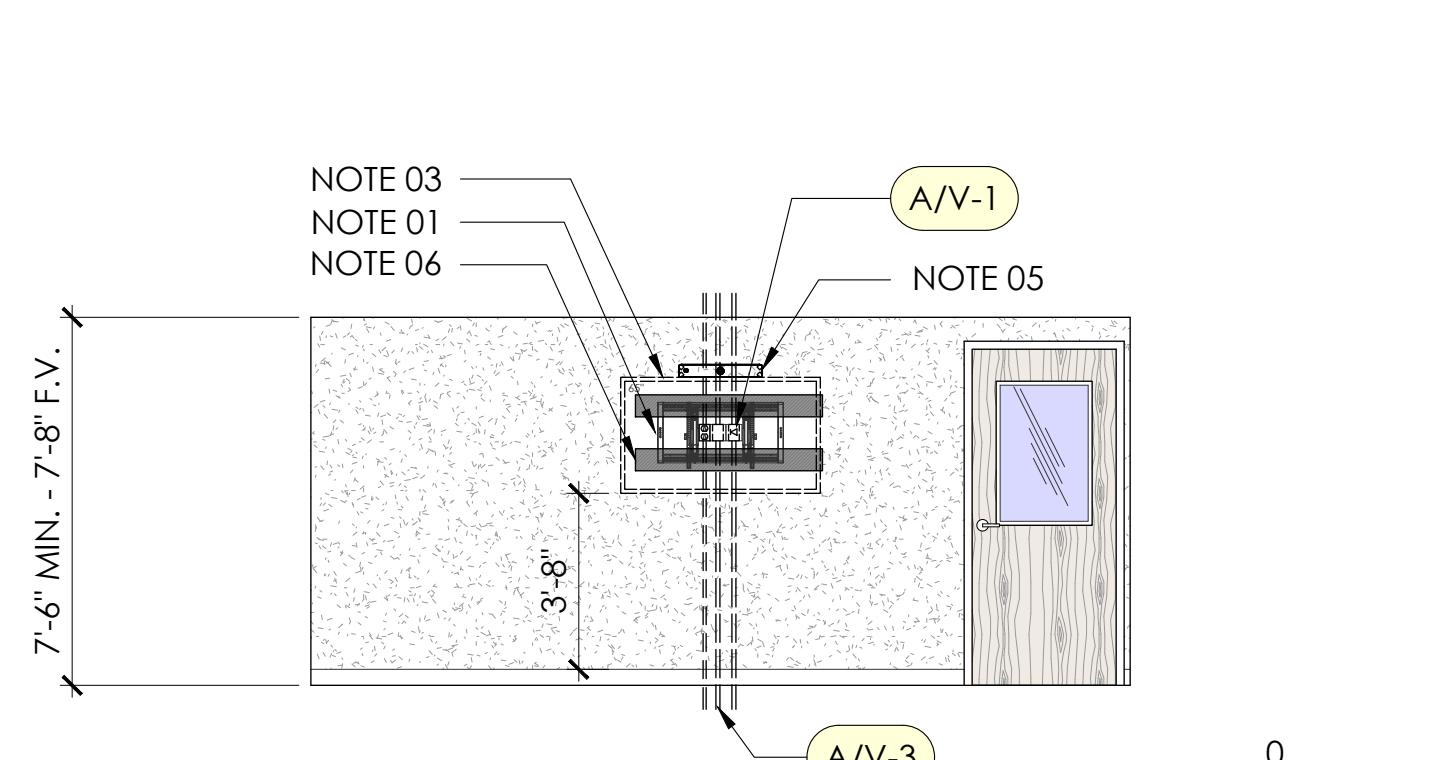
**A1** DINETTE A134 - SOUTH

SCALE: 1/4" = 1'-0"



**A5** DINETTE A134 - EAST

SCALE: 1/4" = 1'-0"



**D9** CONFERENCE E102

SCALE: 1/4" = 1'-0"

## GENERAL NOTES

EMPTY DATA & A/V CONDUITS TO STUB OUT 6" ABOVE ADJACENT CEILING.

THIS DRAWING SUPERSEDES ELECTRICAL DRAWINGS FOR LOCATION.

ELECTRICAL ITEMS SHOWN THIS SHEET FOR COORDINATION PURPOSES. REF. ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.

## A/V COORDINATION

INTERIOR RENOVATIONS FOR  
MONTGOMERY COUNTY ASSESSOR OF PROPERTY  
350 PAGEANT LANE, SUITES 401 & 402  
CLARKSVILLE, TENNESSEE

## POWER, DATA & A/V CONNECTION LEGEND

- A/V-1** POWER, DATA & A/V BEHIND TV - VERIFY HEIGHT IN FIELD W/ ARCHITECT.
- A/V-2** POWER, DATA & A/V LOW.
- A/V-3** POWER, DATA & A/V CONDUITS TO FLOOR BOX.
- A/V-4** POWER & DATA BEHIND TV - VERIFY HEIGHT IN FIELD W/ ARCHITECT.
- A/V-5** POWER & DATA LOW.

DRAWN BY	PROJECT NO
	MCE21-03
DATE	DESCRIPTION
01/14/2026	BID SET
02/03/2026	ADDENDUM NO. 3

**A4.2**

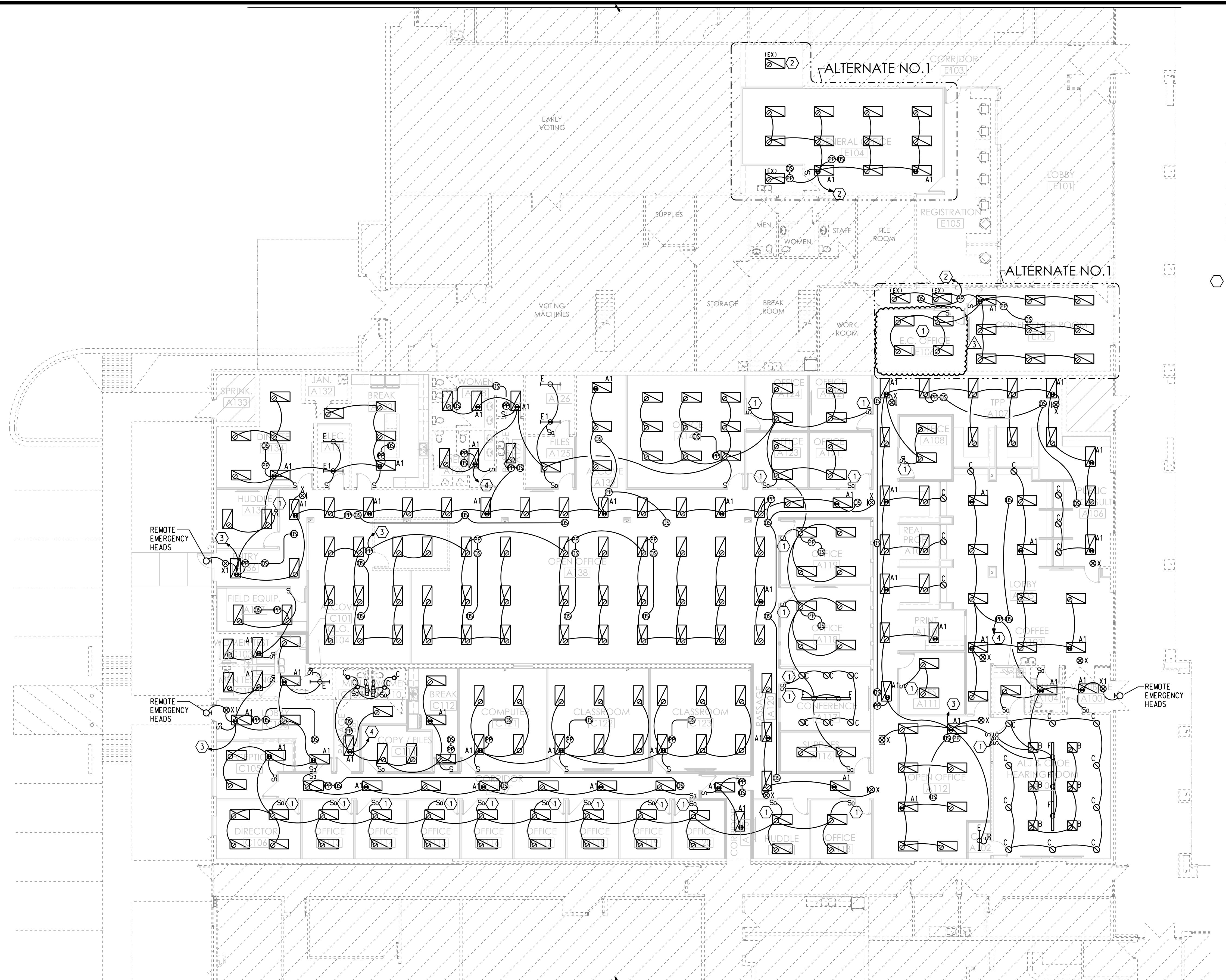
WHEN PLOTTED FULL SIZE THIS SHEET MEASURES 22" x 34"



**LIGHTING FLOOR PLAN**  
INTERIOR RENOVATIONS FOR  
MONTGOMERY COUNTY ASSESSOR OF PROPERTY  
350 PAGEANT LANE, SUITES 401 & 402  
CLARKSVILLE, TENNESSEE

DRAWN BY	PROJECT NO.
	MCC21-03
DATE	DESCRIPTION
01/14/2026	BID SET
02/03/28/23	ADDENDUM #3

**E-1**

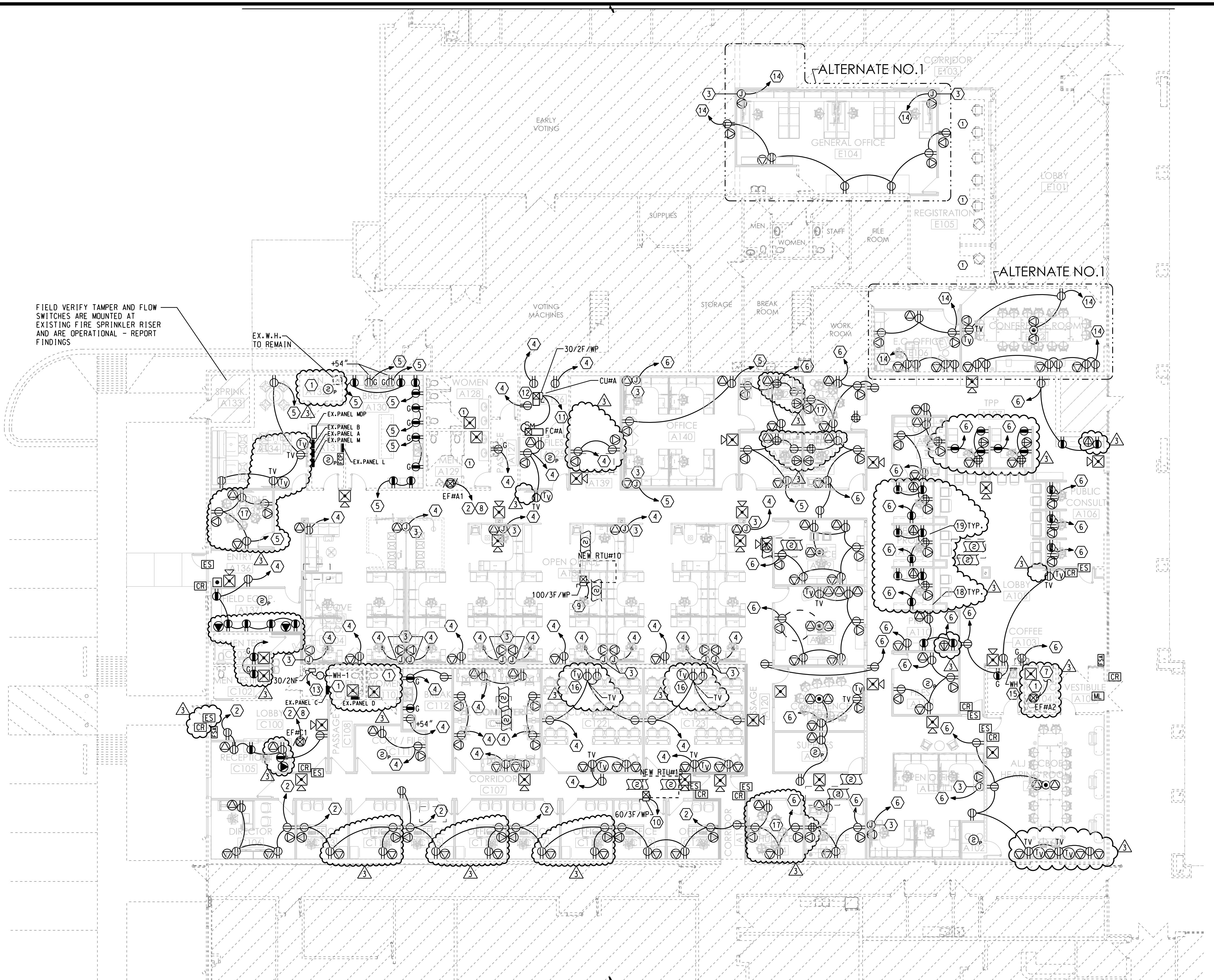
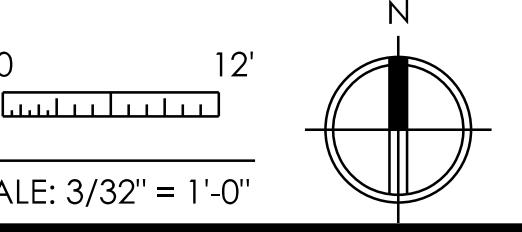


PLAN NOTES:

- EXISTING RECEPTACLES, DATA, AND/OR POWER IN THIS AREA ARE EXISTING TO REMAIN.
- TO A SPARE OR NEW 20A/1P BREAKER IN EXISTING PANEL 'C' USING FEEDER 'A2'.
- J-BOX FOR CONNECTION FOR POWER TO CUBICLES. COORDINATE ALL REQUIREMENTS WITH CUBICLE SUPPLIER.
- TO A SPARE OR NEW 20A/1P BREAKER IN EXISTING PANEL 'A' USING FEEDER 'A2'.
- TO A SPARE OR NEW 20A/1P BREAKER IN EXISTING PANEL 'B' USING FEEDER 'A2'.
- TO A SPARE OR NEW 20A/1P BREAKER IN EXISTING PANEL 'D' USING FEEDER 'A2'.
- EXHAUST FAN TO BE SWITCHED WITH LIGHTS IN ROOM USING FEEDER 'A2'.
- CIRCUIT EXHAUST FAN THRU HVAC CONTROL.
- REPLACE EXISTING RTU#10 BREAKER IN EXISTING PANEL 'M' TO A NEW 90A/3P BREAKER USING FEEDER 'F2'.
- TO A NEW 50A/3P BREAKER IN EXISTING PANEL 'D' USING FEEDER 'D2'.
- TO A NEW 25A/2P BREAKER IN EXISTING PANEL 'D' USING FEEDER 'B1'.
- TO CU/A USING FEEDER 'A2'. COORDINATE ALL REQUIREMENTS WITH SUPPLIER/INSTALLER.
- TO A NEW 30A/2P BREAKER IN EXISTING PANEL 'B' USING FEEDER 'B1'.
- TO A SPARE OR NEW 20A/1P BREAKER IN AN EXISTING 208 VOLT PANEL IN AREA USING FEEDER 'A2'. E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS.
- RELOCATED EXISTING WATER HEATER. EXTEND EXISTING CIRCUIT AS REQUIRED TO MATCH EXISTING. E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS.
- POWER, TV & DATA HIGH CENTERED ON BACK WALL FOR CONFIDENCE TV IN CLASSROOMS.
- POWER & DATA LOW AT HUDDLE TABLES.
- QUAD RECEPTACLE AND DATA OUTLET TO BE AT DRYWALL CORNER. TYPICAL.
- PROVIDE USB RECEPTACLE PME WINDOW. TYPICAL. COORDINATE EXACT LOCATION WITH OWNER/ARCHITECT.

POWER/SYSTEMS FLOOR PLAN  
INTERIOR RENOVATIONS FOR  
MONTGOMERY COUNTY ASSESSOR OF PROPERTY  
350 PAGEANT LANE, SUITES 401 & 402  
CLARKSVILLE, TENNESSEE

DRAWN BY	PROJECT NO.
	MCC21-03
DATE	DESCRIPTION
01/14/2026	BID SET
02/03/2026	ADDENDUM #3



## GENERAL NOTES AND SPECIFICATIONS

A. GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE.

B. COMPLY WITH THE NEC, STATE, AND LOCAL CODES.

C. USE ONLY COPPER CONDUCTORS AS NOTED. MINIMUM SIZE #12 AWG. USE TYPE THHN, UON. ALL CIRCUITS SHALL BE COLOR CODED.

D. USE MINIMUM  $\frac{1}{2}$ " CONDUIT. USE  $\frac{3}{4}$ " MINIMUM GALVANIZED COATED WITH ASPHALTUM OR SCHEDULE 40 PVC IN CONCRETE BELOW GRADE. FOR PVC, TRANSITION TO RIGID BEFORE EMERGING FROM BELOW. USE EMT WHERE CONCEALED IN WALLS AND CEILINGS. USE RIGID IN SLAB AND UNDERGROUND.

E. USE STAINLESS STEEL DEVICE COVER PLATES, UON.

F. SUBMIT 6 COPIES OF SHOP DRAWINGS.

G. ALL ELECTRICAL EQUIPMENT SHALL BE UL LISTED, COMMERCIAL GRADE.

H. USE HUBBELL WIRING DEVICES AS FOLLOWS:

- SWITCHES - 15 AMP, #1201-1, 1202-1, 1203-1
- SWITCHES - 20 AMP, #1221-1, 1222-1, 1223-1, 1224-1
- SWITCHES - MOTOR STARTERS, USE SQUARE D CLASS 2510
- RECEPTACLES - 15 AMP, #5252-1, 5262-1 FOR GENERAL PURPOSES.
- RECEPTACLES - 20 AMP, SG63H-I FOR SAFETY TYPE.
- RECEPTACLES - GFCI, GF5262-1 (15A), GF5362-1 (20A).

I. ALL WIRING MUST BE IN CONDUIT. MC ONLY ALLOWED IN CONCEALED WALLS ONLY. HOMERUNS TO BE IN CONDUIT.

J. EQUIPMENT OUTSIDE MUST BE WEATHERPROOF. USE HEAVY DUTY DISCONNECT SWITCHES.

K. CONDUIT OUTSIDE MUST BE GALVANIZED STEEL OR PVC, AS NOTED ABOVE.

L. USE 6' MAXIMUM LENGTH OF FLEXIBLE CONDUIT TO FIXTURES.

M. LED FIXTURES SHALL HAVE HOLD DOWN CLIPS.

N. REMOVE TEMPORARY WIRING UPON COMPLETION OF WORK. REMOVE UNUSED EXISTING WIRING UPON COMPLETION OF WORK.

O. USE BUSS TYPE LPS OR LPN FUSES FOR MOTORS AND EQUIPMENT. USE BUSS TYPE KTS OR KTN FUSES FOR PANEL AND TRANSFORMER FEEDERS.

P. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES, MECHANICAL EQUIPMENT AND EQUIPMENT FURNISHED BY OWNER PRIOR TO ROUGH-IN.

Q. LED LAMPS SHALL BE 3500 DEGREES KELVIN, UON.

R. NOT USED.

S. USE "PATE" PIPE SEALS FOR CONDUIT THROUGH ROOF. USE SEALTITE FLEXIBLE CONDUIT FOR EXTERIOR EQUIPMENT. USE  $\frac{1}{2}$ " SEALTITE FLEXIBLE CONDUIT FOR VIBRATING EQUIPMENT.

T. PANELBOARDS SHALL BE GENERAL ELECTRIC, CUTLER-HAMMER, SIEMENS, OR SQUARE D, UON.

U. TELEPHONE TERMINAL BOARD SHALL BE  $\frac{3}{4}$ "X4'X8' A-D PLYWOOD PAINTED WITH TWO COLORS OF FLAT GRAY ENAMEL. PROVIDE #6 GND. TO MAIN GROUNDING ELECTRODE.

V. VERIFY LOCATION OF PANELBOARDS AND SWITCHES WITH ARCHITECT PRIOR TO ROUGH-IN.

W. CONTRACTOR SHALL COORDINATE NEW SERVICE REQUIREMENTS WITH THE LOCAL POWER COMPANY AND FURNISH THEM LOAD INFORMATION. FURNISH SERVICE TO TRANSFORMER AS REQUIRED BY THE POWER COMPANY.

X. DO NOT INSTALL MORE CONDUCTORS IN A BRANCH CIRCUIT HOMERUN THAN SHOWN.

Y. ALL WORK SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE.

Z. INSTALL CONTROL WIRING IN MINIMUM  $\frac{1}{2}$ " CONDUIT FOR ALL HVAC UNITS TO THERMOSTATS AND ROOFTOP UNITS, ETC. SEE MECHANICAL CONTROL AND MANUFACTURER'S DRAWINGS.

AA. USE SEALTITE FLEXIBLE CONDUIT FOR EXTERIOR EQUIPMENT.

BB. AIR COOLED DRY TYPE TRANSFORMER SHALL BE SQUARE D, CUTLER-HAMMER, SIEMENS, OR GENERAL ELECTRIC. TRANSFORMER IS TO MEET NEMA ST20 WITH RATINGS AS INDICATED. EQUIP FOR MOUNTING AS INDICATED.

CC. LIGHTING CONTACTORS ARE TO BE 20A NEMA ICS2, MECHANICALLY HELD WITH COIL VOLTAGE AS INDICATED. POLES AS INDICATED, PLUS 2 SPARE. ENCLOSURE TO BE ANSI/NEMA ICS 6, TYPE 1. SQUARE D, GENERAL ELECTRIC, AND ASCO ARE ACCEPTABLE.

DD. TIME CLOCKS ARE TO BE 40A, NEMA ICS, 7 DAY TIMER WITH ASTRONOMICAL DIAL AND 12 HOUR SPRING CARRY OVER. PROVIDE WITH 3 POLES IN ANSI/NEMA ICS 6, TYPE 1 ENCLOSURE. ACCEPTABLE ARE TORK (7200ZL/7302ZL), PARAGON OR INTERMATIC EQUALS.

EE. PHOTOELECTRIC CONTROL SHALL BE FIXED MOUNTED, SPST, WITH 2 MINUTE DELAY AND 2000 WATT CONTACT RATING. INSTALL IN A DIE CAST, WEATHERPROOF ENCLOSURE.

FF. RECEPTACLES IN WET LOCATIONS SHALL BE INSTALLED WITH AN OUTLET ENCLOSURE CLEARLY MARKED "SUITABLE FOR WET LOCATIONS WHILE IN USE". THERE MUST BE A GASKET BETWEEN THE ENCLOSURE AND THE MOUNTING SURFACE, AND BETWEEN THE COVER AND BASE TO ASSURE A PROPER SEAL. THE ENCLOSURE MUST EMPLOY STAINLESS STEEL MOUNTING HARDWARE AND BE CONSTRUCTED OF IMPACT RESISTANT POLYCARBONATE. THE OUTLET ENCLOSURE SHALL BE LISTED BY UNDERWRITERS LABORATORIES INC. ENCLOSURE MUST BE MANUFACTURED BY TAYMAC CORPORATION OR EQUAL.

## LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	VOLT	OTY	LAMPS TYPE	MOUNTING	REMARKS
A	COLUMBIA	LCAT24-S-LSCS	120		40W LED	RECESSED	2X4 LED LIGHT
A1	COLUMBIA	LCAT24-S-LSCS-ELL14	120		40W LED	RECESSED	TYPE 'A' WITH EMERGENCY BATTERY
B	COLUMBIA	LCAT22-S-LSCS	120		23W LED	RECESSED	2X2 LED LIGHT
B1	COLUMBIA	LCAT22-S-LSCS-ELL14	120		23W LED	RECESSED	TYPE 'B' WITH EMERGENCY BATTERY
C	PRESCOLITE	LBRP-M-LS-ML-CS9-WD-LBRP-GRD-T-D-FRAMEGR-HB	120		31W LED	RECESSED	6" LED DOWNLIGHT
D	WAC LIGHTING	WS-77624-3500K-**	120		21W LED	SURFACE	BATHROOM SCONCE
E	COLUMBIA	CSL4-A-LSCS	120		36W LED	SURFACE	4' LED LIGHT
E1	COLUMBIA	CSL4-A-LSCS-ELL14ST	120		36W LED	SURFACE	TYPE 'E' WITH EMERGENCY BATTERY
F	LITECONTROL	4L-P-D*-06-SOF-C1-40K9-D100-D01-1C-UNV-FA2-CB***	120		50W LED	SURFACE	6' LED LIGHT
X	COMPASS	CER	120		LED	UNIVERSAL	EXIT SIGN WITH EMERGENCY BATTERY
X1	COMPASS	CCRGRC-CORD	120		LED	UNIVERSAL	EXIT SIGN WITH EM. BATT REMOTE HEADS

\* ROW LENGTH PER PLANS.

\*\* COLOR TO BE SELECTED BY ARCHITECT.

\*\*\* COORDINATE T-BAR CLIP.

## GENERAL NOTES AND SPECIFICATIONS

GG. LED LAMP EMERGENCY POWER SUPPLY SHALL BE ONE LAMP AS SCHEDULED ON THE PLANS PROVIDING 1100-1400 LUMENS, MINIMUM. THE BATTERY SHALL BE A NICKEL CADMIUM TYPE, RATED FOR A TEN YEAR LIFE. INCLUDE TEST SWITCH AND AC ON INDICATOR LIGHT, INSTALLED TO BE OPERABLE AND VISIBLE FROM THE OUTSIDE OF AN ASSEMBLED LUMINAIRE.

## BRANCH CIRCUIT AND FEEDER LEGEND

FEEDER NO.	CONDUIT AND WIRE
A2	$\frac{1}{2}$ " - 2 #12 & 1 #12 GND.
B1	$\frac{3}{4}$ " - 2 #10 & 1 #10 GND.
D2	1" - 3 #6 & 1 #10 GND.
F2	$\frac{1}{4}$ " - 3 #3 & 1 #8 GND.

## SECURITY SYSTEM LEGEND

SYMBOL	DESCRIPTION	MTG. HGT.
[CR]	SECURITY SYSTEM CARD READER	48" AFF
[ES]	SECURITY ELECTRIC STRIKE	
[ML]	SECURITY MAGNETIC LOCK	

## FIRE ALARM SYSTEM LEGEND

SYMBOL	DESCRIPTION	MTG. HGT.
[F]	FIRE ALARM MANUAL PULL STATION	48" AFF
[R/F]	FIRE ALARM CEILING MOUNTED HEAT DETECTOR	
[S]	FIRE ALARM CEILING MOUNTED SMOKE DETECTOR	
[S@S]	FIRE ALARM DUCT MOUNTED SMOKE DETECTOR	
[X]	FIRE ALARM FLASHING LIGHT/HORN	
[X]	FIRE ALARM FLASHING LIGHT	6'-8" AFF
[FCP]	FIRE ALARM CONTROL PANEL, TOP CONTROL AT 5'	
[FSA]	FIRE ALARM ANNUNCIATOR PANEL, TOP CONTROL AT 5'	
[D]	FIRE ALARM DOOR HOLDER	
[S-S]	FIRE ALARM FLOW DETECTOR/SWITCH	
[S-S]	FIRE ALARM TAMPER DETECTOR/SWITCH	
[S-S]	FIRE ALARM POST INDICATOR VALVE	

## BRANCH CIRCUITING LEGEND

→ A-1	ONE 1-POLE CKT HOMERUN TO PANEL A
→ A-1,3	TWO 1-POLE CKT HOMERUNS TO PANEL A
→ A-1,3,5	THREE 1-POLE CKT HOMERUNS TO PANEL A
→ A-1/3	ONE 2-POLE CKT HOMERUN TO PANEL A
→ A-1/3,2/4	TWO 2-POLE CKT HOMERUNS TO PANEL A
→ A-1/3,5	ONE 3-POLE CKT HOMERUN TO PANEL A

## GENERAL ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	MTG. HGT.
○	CEILING OUTLET, SURFACE FIXTURE	
⊗	CEILING OUTLET, SURFACE FIXTURE w/BATTERY BACK UP	
⊖	CEILING OUTLET, RECESSED FIXTURE	
⊕	CEILING OUTLET, RECESSED FIXTURE w/BATTERY BACK UP	
OH	BRACKET OUTLET	
□	SURFACE LED LIGHTING FIXTURE	
□	RECESSED LED LIGHTING FIXTURE	
—	LED STRIP LIGHT FIXTURE	
□→	AREA OR STREET LIGHTING FIXTURE	
⊗	EXIT LIGHT, ARROWS AS SHOWN, ON LIFE SAFETY CIRCUIT	
▼	EMERGENCY LIGHT WALL MOUNTED AT 7'-6" AFF, UON	
S	SINGLE POLE SWITCH	48" AFF
S <sub>3</sub>	THREE-WAY SWITCH	48" AFF
S <sub>d</sub>	DIMMER SWITCH - SLIDE TYPE, WATTAGE AS REQUIRED	48" AFF
S <sub>o</sub>	OCCUPANCY SENSOR - WALL MOUNTED, DUAL TECHNOLOGY	48" AFF
PP	OCCUPANCY SENSOR - POWER PACK	
DS	OCCUPANCY SENSOR - CEILING MOUNTED, DUAL TECHNOLOGY	
○	DUPLEX GROUNDING RECEPTACLE	18" AFF
○	DUPLEX GROUNDING RECEPTACLE	ABC
○	FLOOR RECEPTACLE	
○	DOUBLE DUPLEX GROUNDING RECEPTACLE	18" AFF
○	JUNCTION OR PULL BOX	
○	MOTOR, E.F. DENOTES EXHAUST FAN	
SM	MANUAL MOTOR STARTER OR RELAY CONTROL	
⊗	MAGNETIC MOTOR STARTER OR TERMINAL CONNECTION	
—	SAFETY SWITCH, WP INDICATES NEMA 3R, FUSED, U.O.N.	
—	LIGHTING OR POWER PANEL	
—	MAIN OR SUB-DISTRIBUTION PANEL	
—	TRANSFORMER	
TC	TIME CLOCK - SEE SPECS	
CI	CONTACTOR - SEE SPECS	
PE	PHOTO-ELECTRIC SWITCH - AIM NORTHEAST, SEE SPECS	
T	THERMOSTAT, SEE MECHANICAL	48" AFF
—	CONDUIT, CONCEALED IN CEILING OR WALL	
—	CONDUIT, CONCEALED IN SLAB OR BELOW FLOOR/GRADE	
—	CONDUIT, EXPOSED	
—	CONDUIT, TURNING UP	
—	CONDUIT, TURNING DOWN	
—EP—	CONDUIT, ELECTRICAL PRIMARY	
—ES—	CONDUIT, ELECTRICAL SECONDARY	
WP	WEATHERPROOF	
G	GROUND FAULT CURRENT INTERRUPTING	
AFF	ABOVE FINISHED FLOOR	
ABC	ABOVE COUNTER	
UC	UNDERCOUNTER	
UON	UNLESS OTHERWISE NOTED	
CC	GENERAL CONTRACTOR	
MC	MECHANICAL CONTRACTOR	
EC	ELECTRICAL CONTRACTOR	
EDF	ELECTRIC DRINKING FOUNTAIN	
W/H	WATER HEATER	
A.H.U.	AIR HANDLING UNIT	
AGC	ABOVE FINISHED GRADE	
FBO	FURNISHED BY OTHERS	
TTB	TELEPHONE TERMINAL BOARD	
TVSS	TRANSIENT VOLTAGE SURGE PROTECTOR	
ECB	ENCLOSED CIRCUIT BREAKER	
⊗	MULTI USE OUTLET FOR VOICE, DATA, VIDEO (1" C. TO ABOVE CEILING)	18" AFF
⊗W	TELEPHONE OUTLET, WALL MOUNTED	54" AFF
⊕	MULTI USE OUTLET FOR VOICE, DATA, VIDEO ABOVE COUNTER (1" C. TO ABOVE CEILING)	ABC
⊗	TELEPHONE FLOOR OUTLET, SEE SPECS	
TV	TELEVISION OUTLET	

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2948 SIDCO DRIVE  
NASHVILLE, TN 37204  
www.entechn.com  
615.373.2640

**MoCo**  
MONTGOMERY COUNTY  
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ENGINEERING

1 Millennium Plaza Suite 401 Clarksville, TN 37040  
Phone: (931) 555-5113 - www.montgomeryengineering.com

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